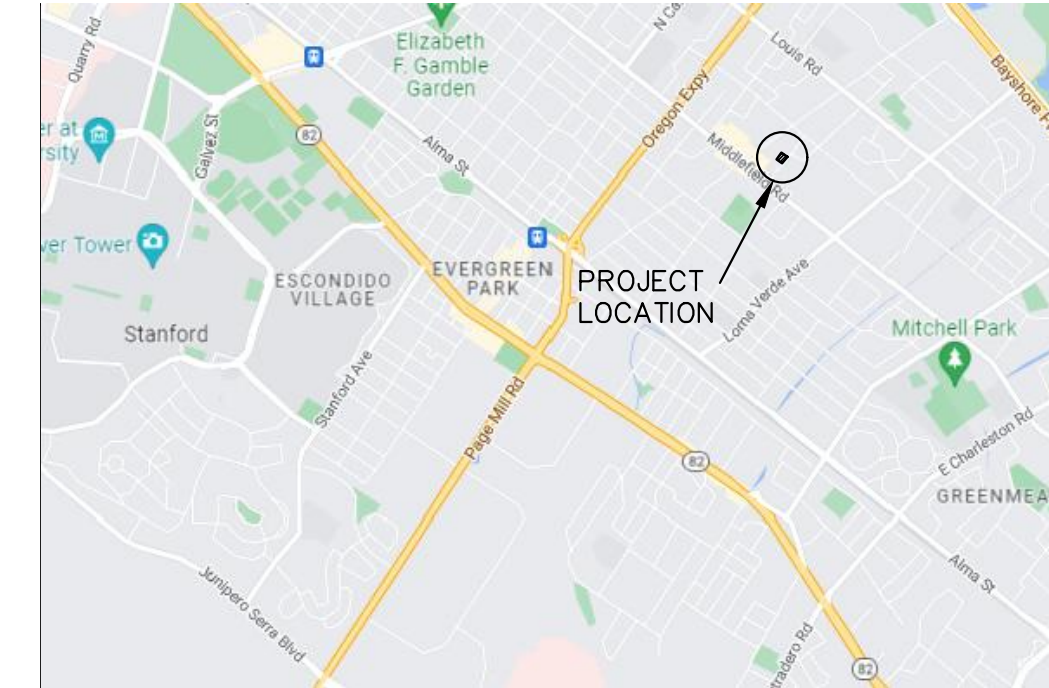
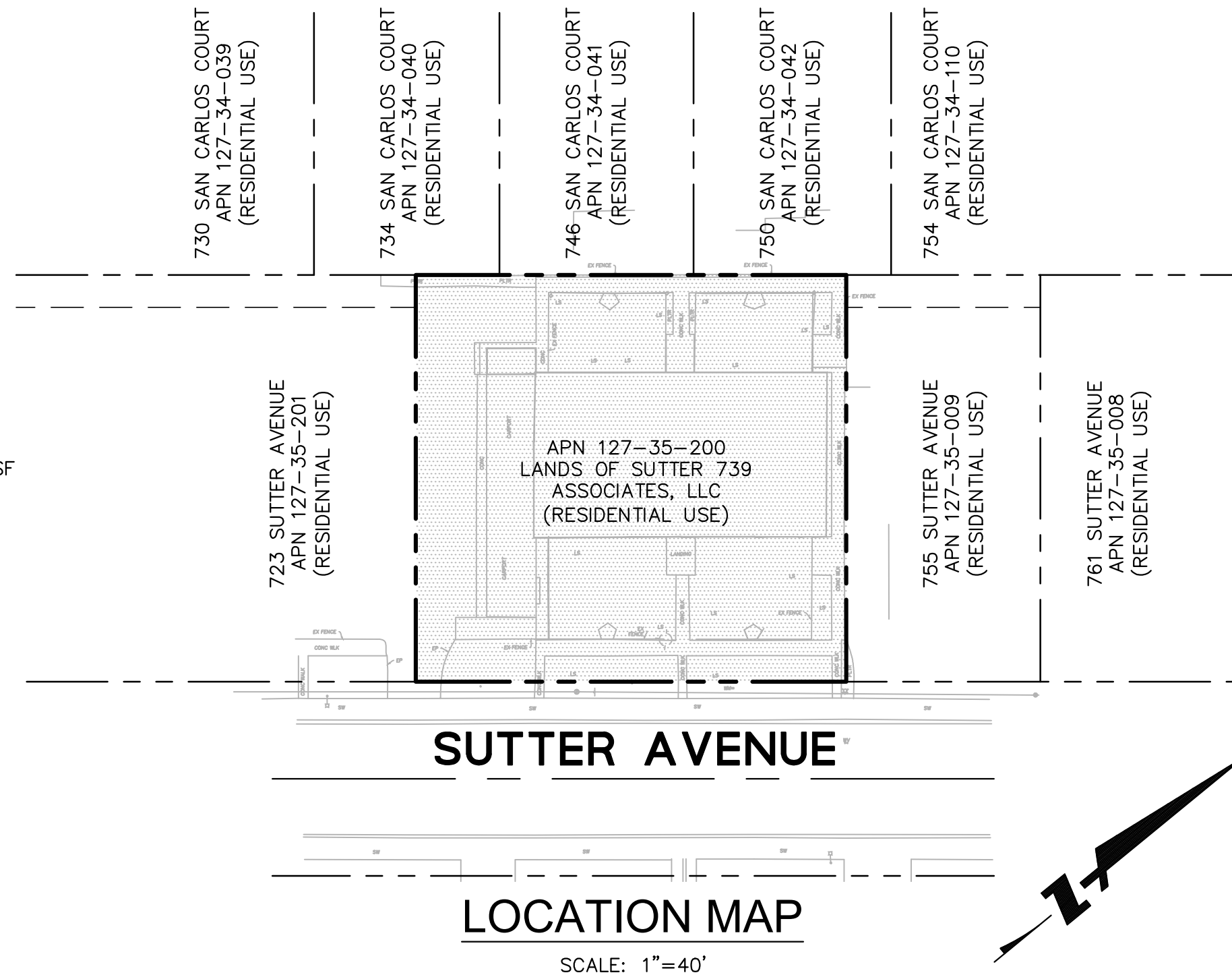


VESTING TENTATIVE MAP 739 SUTTER AVENUE FOR CONDOMINIUM PURPOSES CITY OF PALO ALTO, CALIFORNIA

PROJECT SUMMARY:

1. OWNER/SUBDIVIDER: 739 SUTTER ASSOCIATES, LLC
P.O. BOX 6563
SAN MATEO, CA 94403
CONTACT: GRACE LI
PHONE: (510) 857-4567
EMAIL: GRACELI_1999@YAHOO.COM
2. MAP PREPARED BY: BKF ENGINEERS
1730 N. FIRST STREET, SUITE 600
SAN JOSE, CA, 95112
CONTACT: PHONG KIET
PHONE: (408) 467-9100
EMAIL: PKIET@BKF.COM
3. APN: 127-35-200
4. GENERAL PLAN USE: MULTI-FAMILY RESIDENTIAL: 16,720 SF
5. NEIGHBORHOOD: MIDTOWN
6. EXISTING LAND USE: RESIDENTIAL
7. PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
8. EXISTING ZONING: MULTI-FAMILY RESIDENTIAL (RM-20): 16,720± SF
9. WATER SUPPLY: CITY OF PALO ALTO
10. POWER AND GAS SUPPLY: CITY OF PALO ALTO
11. TELEPHONE: COMCAST
12. INTERNET: AT&T
13. NO. OF EXISTING LOTS: 1
14. NO. OF PROPOSED LOTS: 1
15. TOTAL GROSS ACREAGE: 0.38± ACRES
16. SOIL TYPE: FATTY CLAY/LEAN CLAY WITH SAND
17. DEPTH TO GROUNDWATER: 10' TO 15'
18. FLOOD ZONE ELEVATION: ZONE X
19. NO. OF UNITS PROPOSED: 12 RESIDENTIAL CONDOMINIUM UNITS



VICINITY MAP
NTS

SHEET INDEX

SHEET	DESCRIPTION
C1.0	TITLE SHEET
C2.0	VESTING TENTATIVE MAP
C3.0	EXISTING CONDITIONS
C4.0	PRELIMINARY SITE PLAN
C5.0	PRELIMINARY GRADING AND DRAINAGE PLAN
C6.0	PRELIMINARY UTILITY PLAN
C7.0	PRELIMINARY STORMWATER CONTROL PLAN

LEGEND

	PROPERTY LINE
	ADJACENT LOT LINE
	STREET CENTER LINE
	PROJECT AREA

ABBREVIATIONS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
AC	ASPHALT CONCRETE	LG	LIP OF GUTTER
AD	AREA DRAIN	MH	MANHOLE
APN	ASSESSOR'S PARCEL NUMBER	MON	MONUMENT
BLDG	BUILDING	(N)	NORTH/NEW
BM	BENCH MARK	N.G.V.D.	NATIONAL GEODETICS VERTICAL DATUM
BW	BACK OF WALK/ BOTTOM OF WALL	NO., #	NUMBER
C&G	CURB & GUTTER	NTS	NOT TO SCALE
C, CL	CENTERLINE	PCC	PORTLAND CEMENT CONCRETE
CON	CONCRETE	PL	PROPERTY LINE
CR	CURB RETURN	PT	POINT
CVC	CENTER OF VERTICAL CURVE	PV	PAVEMENT
DIA	DIAMETER	R	RADIUS
DWG	DRAWING	RCP	REINFORCED CONCRETE PIPE
ECR	END OF CURB RETURN	RT	RIGHT
EL	ELEVATION	ROW	RIGHT OF WAY
EP	EDGE OF PAVEMENT	(S) OR S.	SOUTH
E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT	ST.	STREET
EVC	END VERTICAL CURVE	STD	STANDARD
EX	EXISTING	SW	SIDEWALK
F/C	FACE OF CURB	TYP.	TYPICAL
FT	FEET	VC	VERTICAL CURVE
LT	LEFT	VIF	VERIFY IN FIELD
L	LENGTH	W/	WITH
LF	LINEAR FEET	(W)	WEST

BASIS OF BEARINGS:

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE GPS OBSERVATION.

ELEVATION DATUM:

THE ELEVATIONS SHOWN ARE BASED ON FOUND EXISTING CONTROL POINTS PROVIDED BY TOPOGRAPHIC SURVEY PREPARED BY LC ENGINEERING IN MAY, 2021.

NOTES:

1. THE FILING OF THIS VESTING TENTATIVE MAP IS CONCURRENT TO THE 739 SUTTER AVENUE ARCHITECTURAL REVIEW BOARD PACKAGE (PLN# 22PLN-00201).
2. THIS MAP PROVIDES FOR THE CREATION OF A SINGLE, DEVELOPABLE LOT TO BE FURTHER SUBDIVIDED VIA SEPARATE RESIDENTIAL CONDOMINIUM MAP INTO 12 RESIDENTIAL CONDOMINIUM UNITS.
3. UTILITY DEDICATIONS: THE ON-SITE STORM DRAIN, SANITARY SEWER, AND WATER SYSTEMS WILL BE PRIVATELY MAINTAINED.
4. A WAIVER IS REQUESTED UNDER STATE DENSITY BONUS LAW TO THE REQUIRED STREET WIDTH.

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**VESTING TENTATIVE MAP
739 SUTTER AVENUE
TITLE SHEET**

CA

PALO ALTO SANTA CLARA COUNTY



Date: 2/20/2024
Scale: AS SHOWN
Design: CA/JH
Drawn: JH
Approved: PK
Job No: C20220187

Drawing Number:

C1.0

1 OF 7

734 SAN CARLOS COURT
APN: 127-34-040

746 SAN CARLOS COURT
APN: 127-34-041

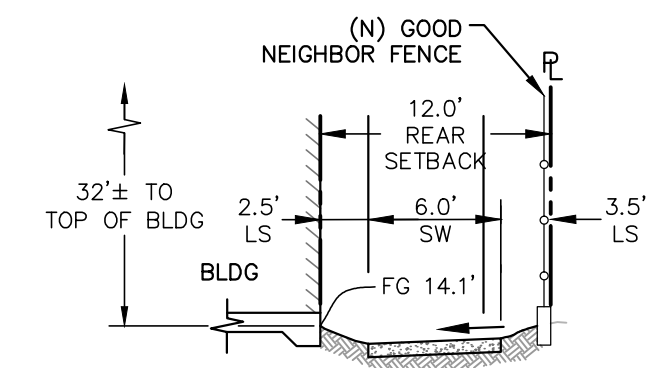
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APN: 127-34-042

LEGEND

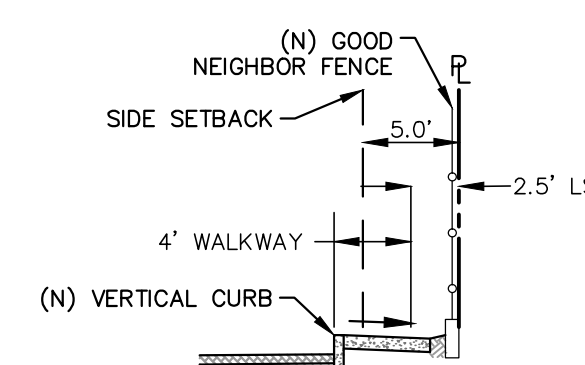
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- LOT LINE
- EX. EASEMENT LINE
- PR. EASEMENT LINE
- ROADWAY CENTER LINE

PUBLIC UTILITY EASEMENT (PUE)

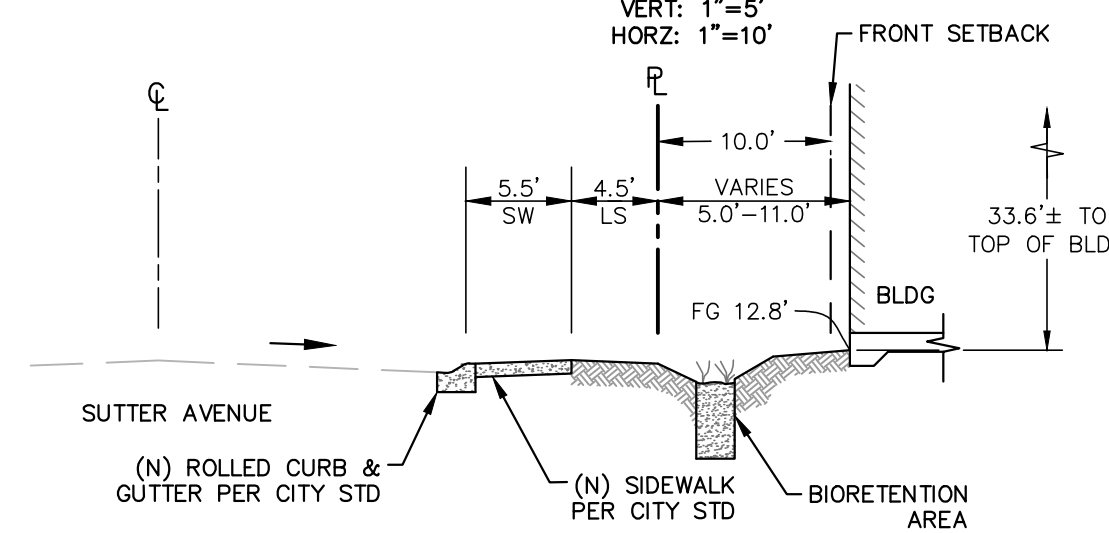
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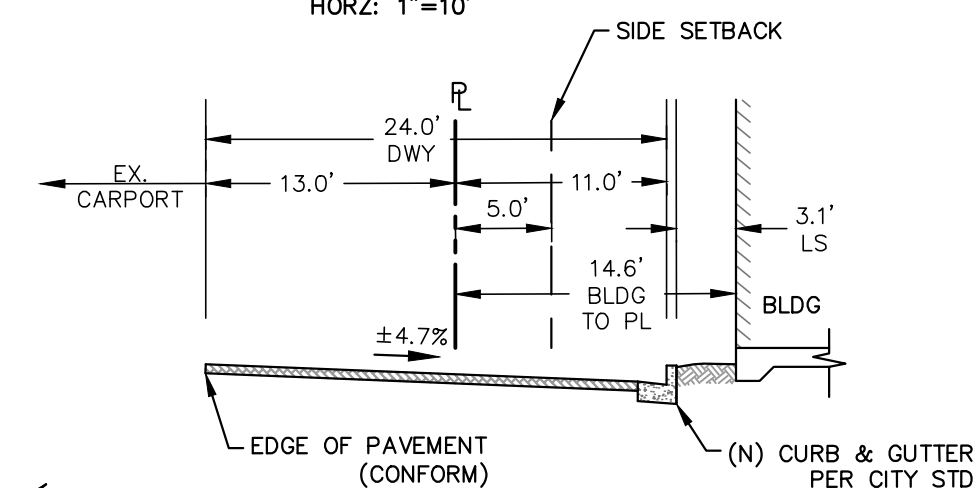
SECTION A (WALKWAY)
VERT: 1"=5'
HORZ: 1"=10'



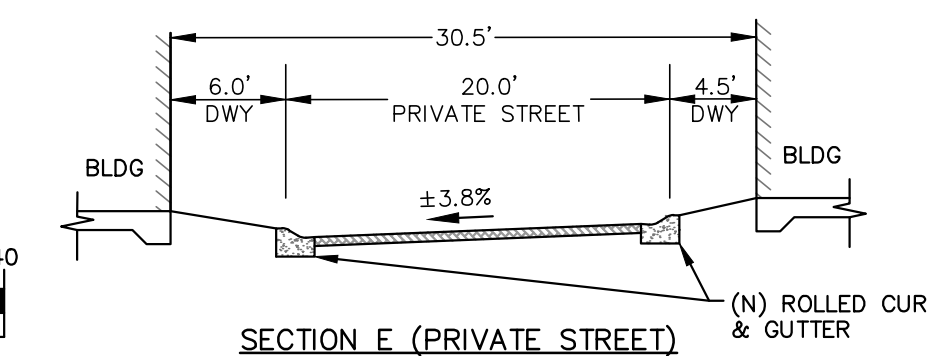
SECTION B (WALKWAY)
VERT: 1"=5'
HORZ: 1"=10'



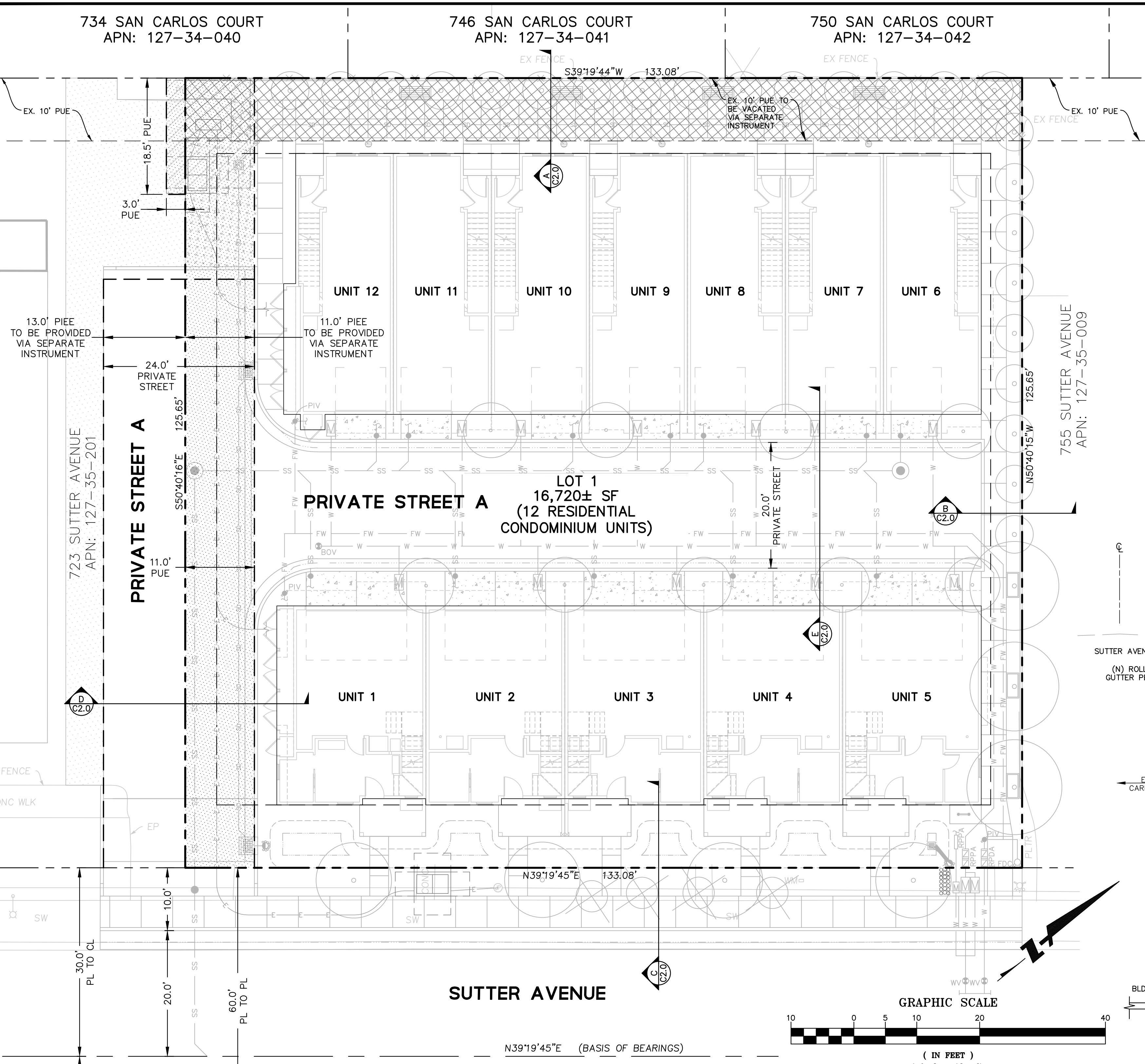
SECTION C (SUTTER AVENUE)
VERT: 1"=5'
HORZ: 1"=10'



SECTION D (PRIVATE STREET)
VERT: 1"=5'
HORZ: 1"=10'



SECTION E (PRIVATE STREET)
VERT: 1"=5'
HORZ: 1"=10'



VESTING TENTATIVE MAP 739 SUTTER AVENUE VESTING TENTATIVE MAP

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PALO ALTO SANTA CLARA COUNTY

REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA



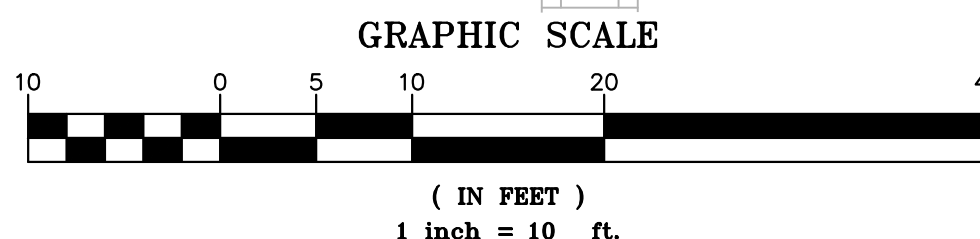
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Design: CA/JH
Drawn: JH
Approved: PK
Job No: C20220187

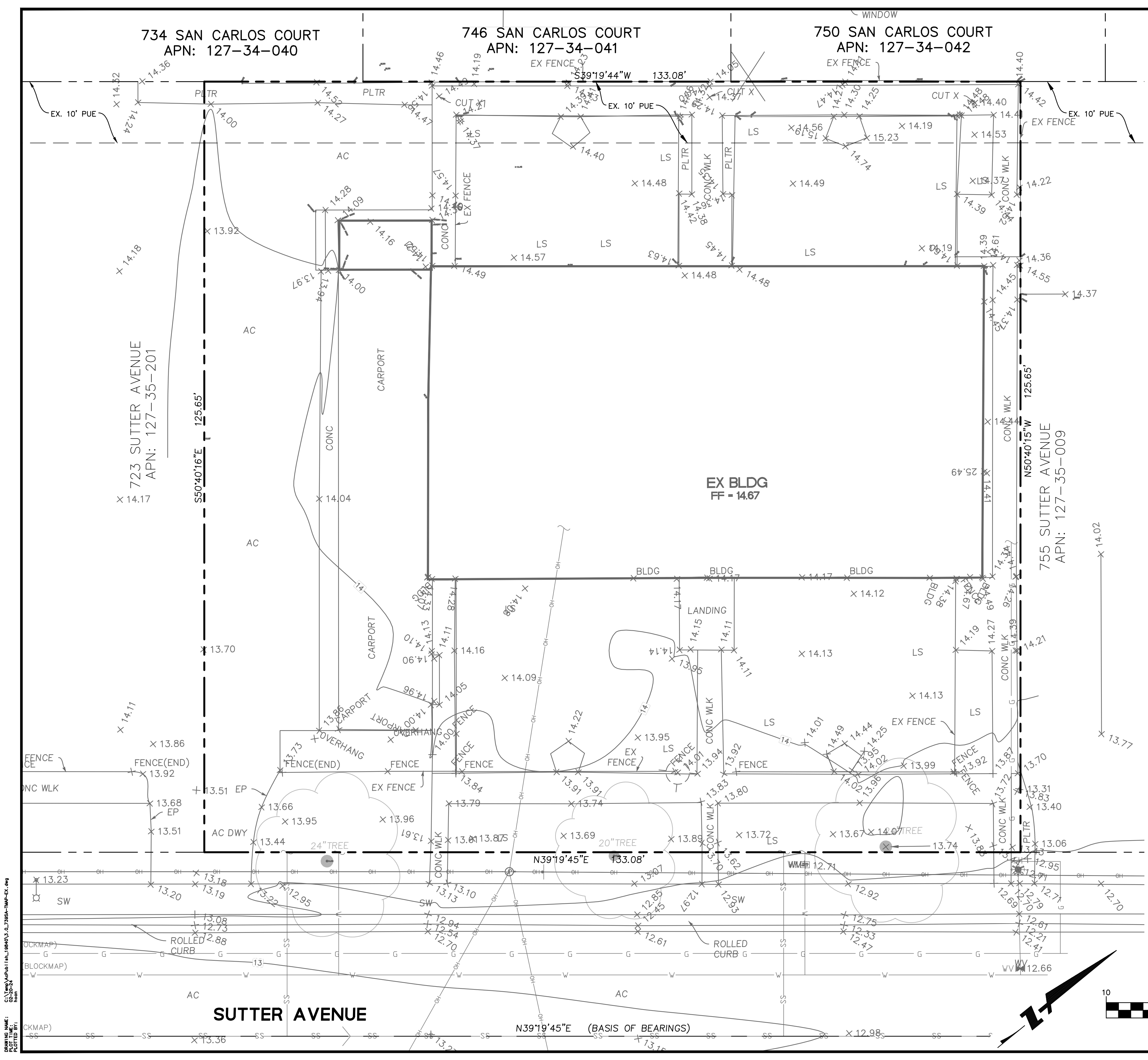
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2 OF 7

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PLOTTER: Br: 23654-TMP-TL.dwg
DATE: 2/20/2024





LEGEND

BOUNDARY LINE	---
LOT LINE	---
EASEMENT LINE	---
ROADWAY CENTER LINE	---
BUILDING WALL LINE	---
FENCE LINE	X
DRIVEWAY	---
SIDEWALK	---
OVERHEAD LINE	OH
COMMUNICATION LINE	COMM
ELECTRICAL LINE	E
GAS LINE	G
STORM DRAIN LINE	SD
SANITARY SEWER LINE	SS
WATER LINE	W
ELEVATION	(TC XX.X±)
BOLLARD	•
COMMUNICATION BOX	COM
ELECTRIC BOX	EB
FIRE HYDRANT	•
GAS METER	•
GUY WIRE	---
JOINT POLE	---
SANITARY SEWER CLEANOUT	SSCO
SANITARY SEWER MANHOLE	SSM
STORM DRAIN CATCH BASIN	SDCB
STORM DRAIN DROP INLET	SDDI
STORM DRAIN MANHOLE	SDM
STREET LIGHT BOX	SLB
SURVEY IRON PIPE	•
SURVEY STREET MONUMENT	•
UNKNOWN MANHOLE	•
WATER METER	•
WATER VALVE	•
EXISTING SCHOOL ZONE AHEAD SIGN	---

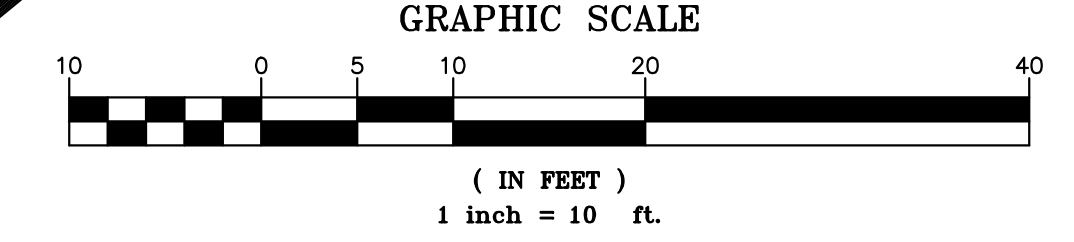
SURVEY NOTES

BASIS OF BEARINGS:
THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE GPS OBSERVATION.

BENCHMARK:
THIS WORK WAS REFERENCED TO THE FOLLOWING BENCHMARK:
SCVWD BM 053
ELEVATION = 15.76 FEET, NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 DATUM)

GENERAL NOTES:

- TOPOGRAPHIC SURVEY WAS CONDUCTED BY LC ENGINEERING.
- DATE OF FIELD SURVEY: 05/17/21
- ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE TYPES, LOCATIONS, AND SIZES OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE BASED ON AS-BUILT MAPS, GIS MAPS, AND OTHER UTILITY INFORMATION FROM DIFFERENT SOURCES. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO DELINEATE ALL KNOWN UNDERGROUND UTILITIES. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ALL EXISTING UTILITIES NOT SHOWN ON THESE DRAWINGS.



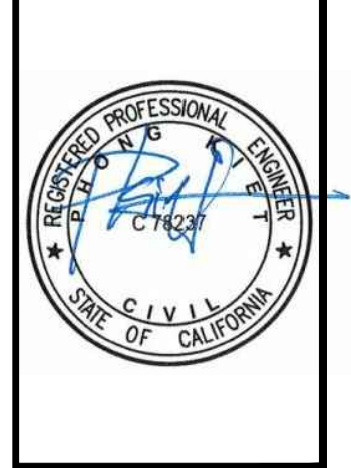
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VESTING TENTATIVE MAP

739 SUTTER AVENUE

EXISTING CONDITIONS

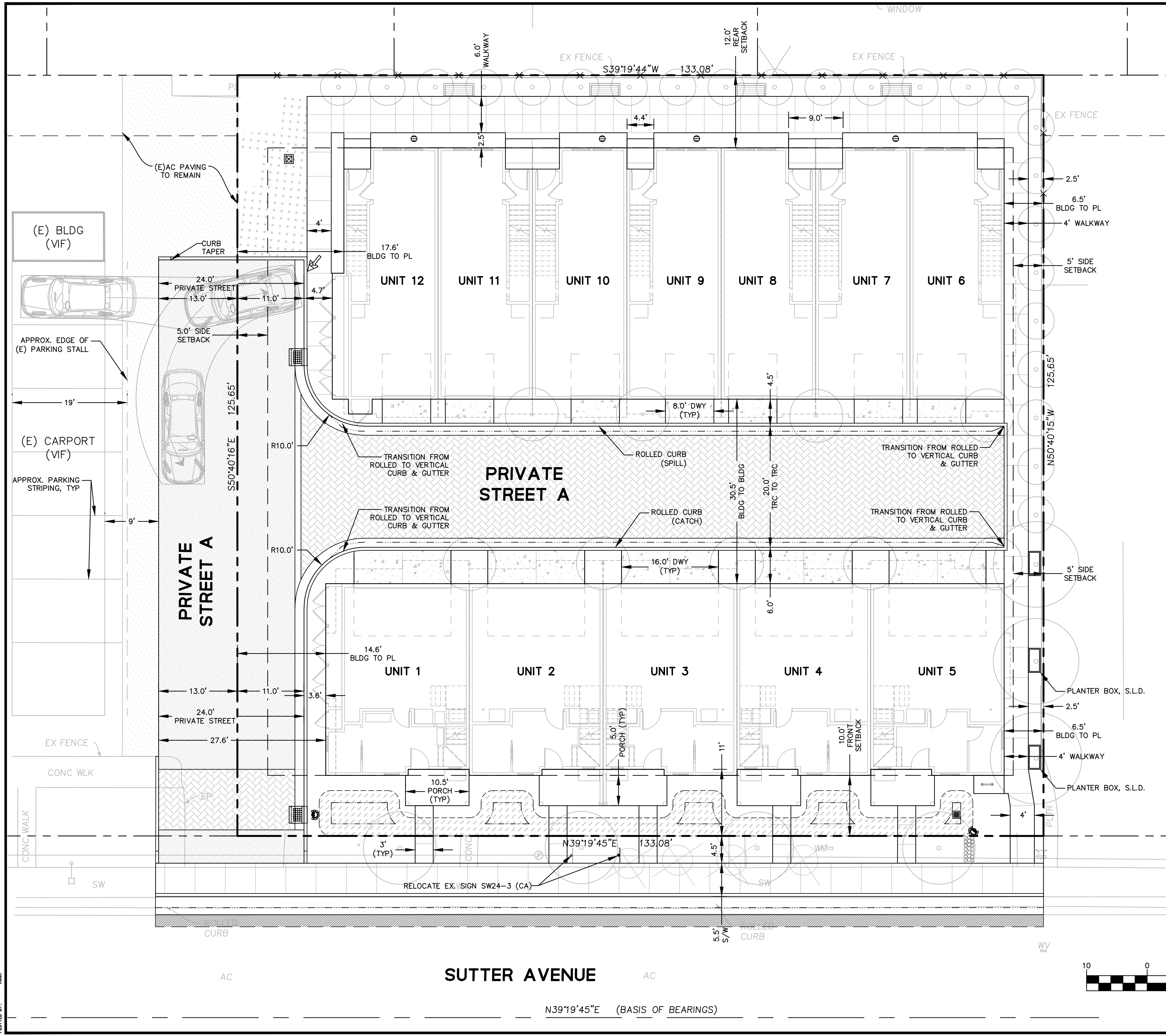
PALO ALTO SANTA CLARA COUNTY CA



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Drawing Number: C3.0					
3 OF 7					

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PLOTTER DRIVER: HPGL-ETL


DRAWING NAME: \\BKF-SVA\142022\20187_739_Sutter_PaloAlto\BKG-AP\Planning\Sheets\TMAP_V_0_2395a-TMAP-Sp.dwg
 PLOTTED BY:




LEGEND

BOUNDARY LINE	---
SETBACK LINE	- - - - -
EASEMENT LINE	- · - · -
BIORETENTION BASIN	[Hatched pattern]
AC PAVEMENT	[Stippled pattern]
AC OVERLAY	[Diagonal hatching]
CONCRETE DRIVEWAY	[Dotted pattern]
PERVIOUS PAVER	[Cross-hatched pattern]
PLANTING AREA, S.L.D.	[Stippled with 'x' marks]
EXISTING AC PAVEMENT TO REMAIN	[Stippled with dots]
ROLLED CURB & GUTTER	[Double line with dots]

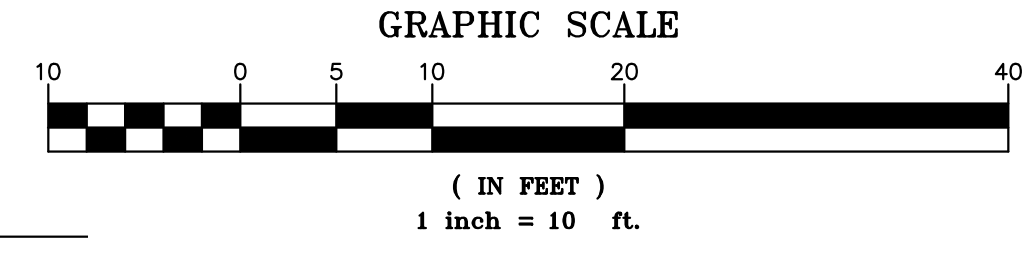
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VESTING TENTATIVE MAP
739 SUTTER AVENUE
PRELIMINARY SITE PLAN
 PALO ALTO SANTA CLARA COUNTY CA

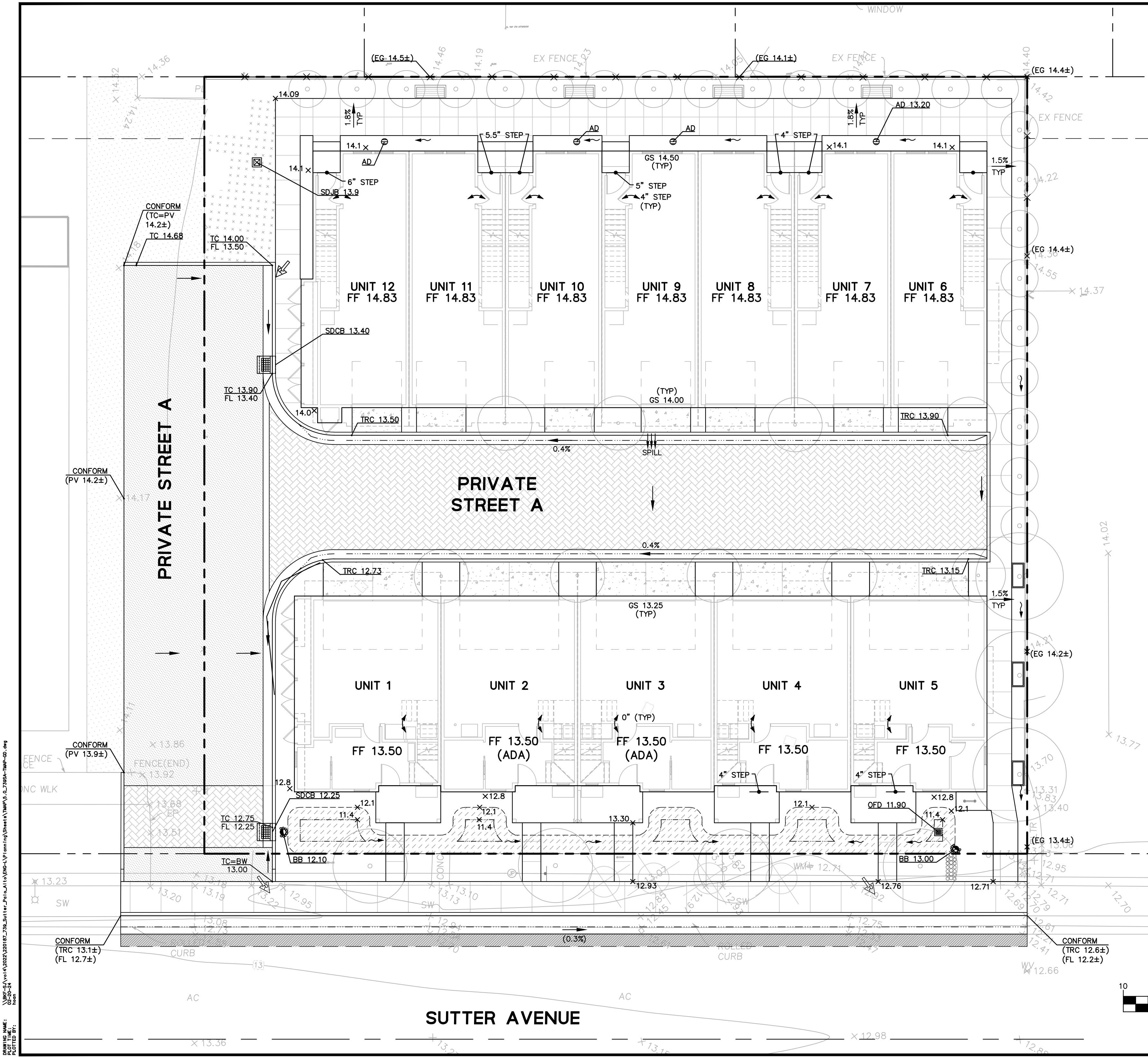


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Scale: AS SHOWN	C4.0
Design: CA/JH	4 OF 7
Drawn: JH	
Approved: PK	
Job No: C20220187	



SUTTER AVENUE

N39°19'45"E (BASIS OF BEARINGS)



LEGEND

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- ROADWAY CENTER LINE
- ELEVATION (PROPOSED)
- ELEVATION (EXISTING)
- FINISHED FLOOR ELEVATION
- SPOT ELEVATION (PROPOSED)
- SPOT ELEVATION (EXISTING)
- GRADE BREAK
- OVERLAND RELEASE
- SLOPE TO GRADE (LANDSCAPE)
- SLOPE TO GRADE (HARDSCAPE)
- SPILL (GUTTER)
- THRESHOLD GARAGE SLAB
- GRADE CHANGE (3/4")
- STEP
- 0" STEP

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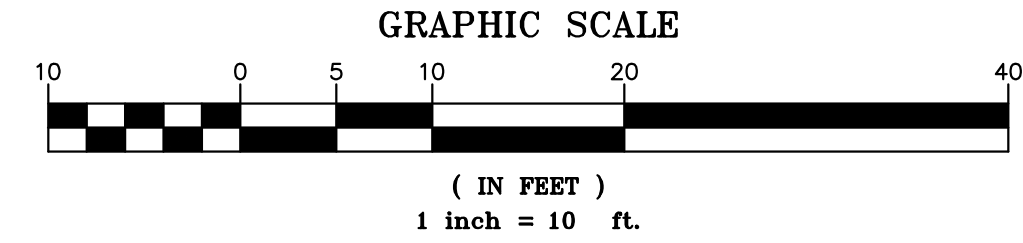
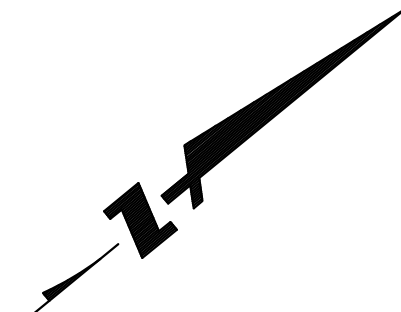
VESTING TENTATIVE MAP 739 SUTTER AVENUE PRELIMINARY GRADING AND DRAINAGE PLAN

PALO ALTO SANTA CLARA COUNTY
 CA

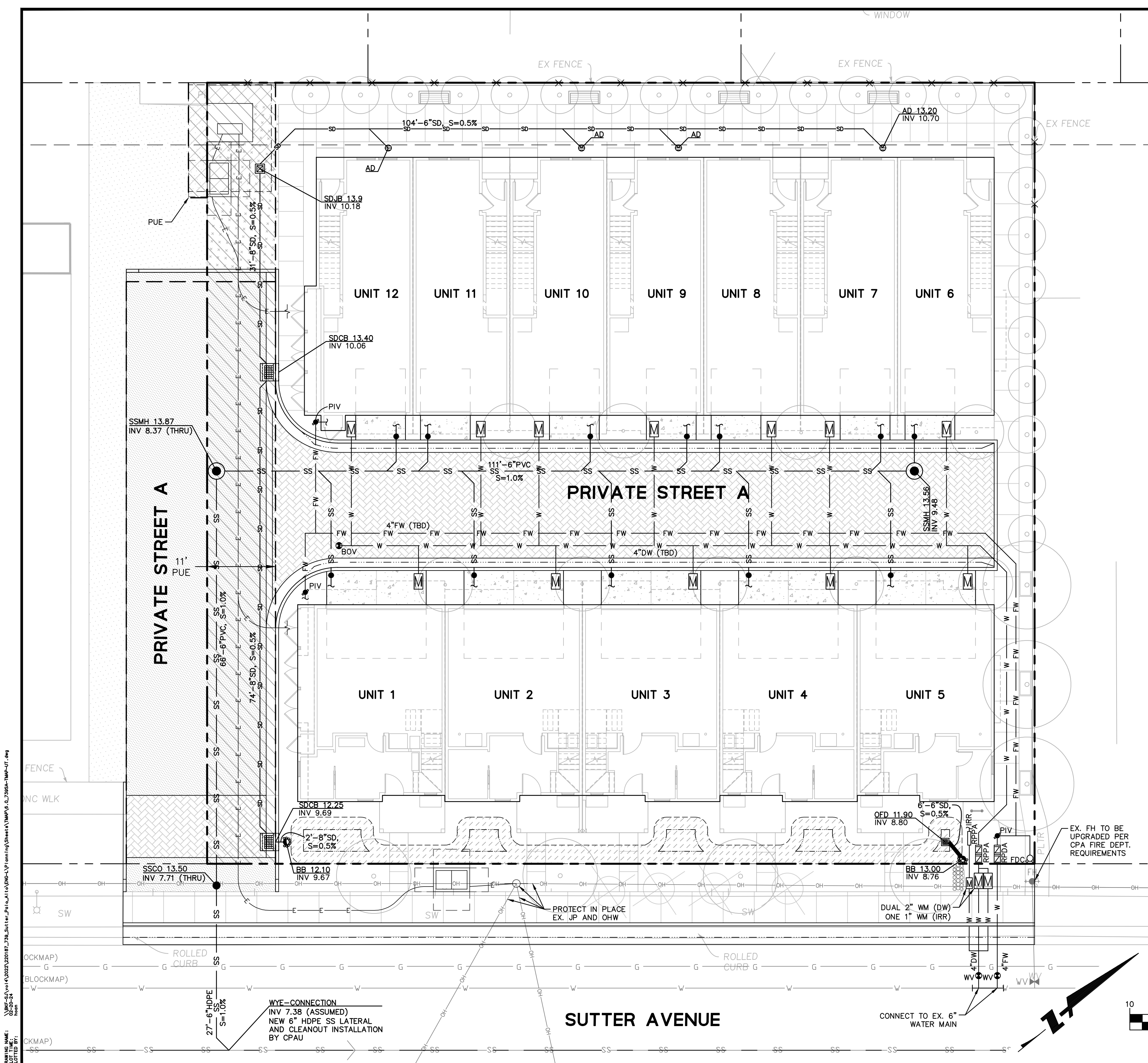


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 Drawn: JH
 Approved: PK
 Job No: C20220187

Drawing Number:
C5.0
 5 OF 7



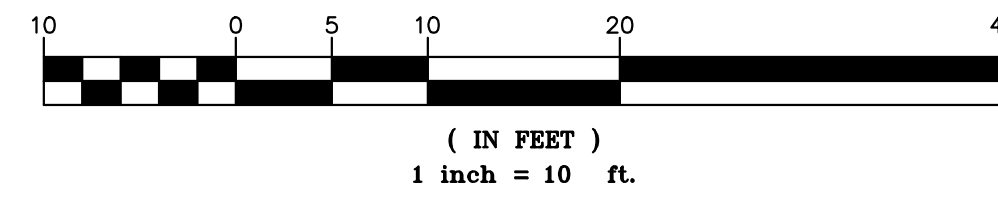
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 PLOTTED BY:



LEGEND

BOUNDARY LINE	---
LOT LINE	---
EX. EASEMENT LINE	---
PR. EASEMENT LINE	---
ROADWAY CENTER LINE	---
ELEVATION	RIM XXX.XX INV XXX.XX
DOMESTIC WATER LINE	W
FIRE WATER LINE	FW
ELECTRIC LINE	E
SANITARY SEWER LINE	XX'-X" S=X.X%
STORM DRAIN (DIRECTION)	SD →
STORM DRAIN (PERFORATED)	XX'-X" S=X.X%
STORM DRAIN (TREATED)	XX'-X" S=X.X%
STORM DRAIN (UNTREATED)	XX'-X" S=X.X%
STORM DRAIN AREA DRAIN	SDAD
STORM DRAIN BUBBLER BOX	BB
STORM DRAIN CLEANOUT	SDCO
STORM DRAIN CATCH BASIN	SDCB
STORM DRAIN DROP INLET	SDDI
STORM DRAIN JUNCTION BOX	SDJB
STORM DRAIN MANHOLE	SDMH
STORM DRAIN OVERFLOW DRAIN	OFD
SANITARY SEWER MANHOLE	SSMH
SANITARY SEWER CLEANOUT	SSCO
BACKFLOW PREVENTER	BFV
WATER METER	WM
BLOW OFF VALVE	BOV
WATER VALVE	WV
FIRE DEPARTMENT CONNECTION	FDC
POST INDICATOR VALVE	PIV
ABOVE-GRADE TRANSFORMER (FOR REFERENCE ONLY)	[Symbol]
PUBLIC UTILITY EASEMENT (PUE)	[Symbol]

- NOTES:**
1. THE APPLICANT SHALL PROVIDE TO THE ENGINEERING DEPARTMENT A COPY OF THE PLANS FOR THE FIRE SYSTEM, INCLUDING ALL FIRE DEPARTMENT'S REQUIREMENTS, PRIOR TO THE ACTUAL FIRE SERVICE INSTALLATION.
 2. INSTALL AN APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY - RPPA BACKFLOW PREVENTER. THE RPPA SHALL BE INSTALLED ON THE OWNERS' PROPERTY AND DIRECTLY BEHIND THE WATER METER PER CITY'S STANDARD DETAIL WD-11A COMMERCIAL OR M47C COA DRAWING.
 3. AN APPROVED REDUCED PRESSURE PRINCIPLE ASSEMBLY AND REDUCED PRESSURE DETECTOR ASSEMBLY ARE REQUIRED RPPA & RPDA BACKFLOW PREVENTERS. THE RPPA AND RPDA SHALL BE INSTALLED ON THE OWNER'S PROPERTY AND DIRECTLY BEHIND THE CITY'S FIRE SERVICE PER CITY'S STANDARD DETAIL WD-12A OR M47C DRAWING.
 4. THIS IS AN "ALL-ELECTRIC" BUILDING PROJECT. NO NEW GAS SERVICE OR GAS HOOKUPS WILL BE INSTALLED.
 5. WATER PRESSURE/LOSS CALCULATIONS WILL BE PROVIDED DURING THE CD PHASE BY THE DESIGN TEAM TO DETERMINE WHETHER A BOOSTER PUMP IS REQUIRED.



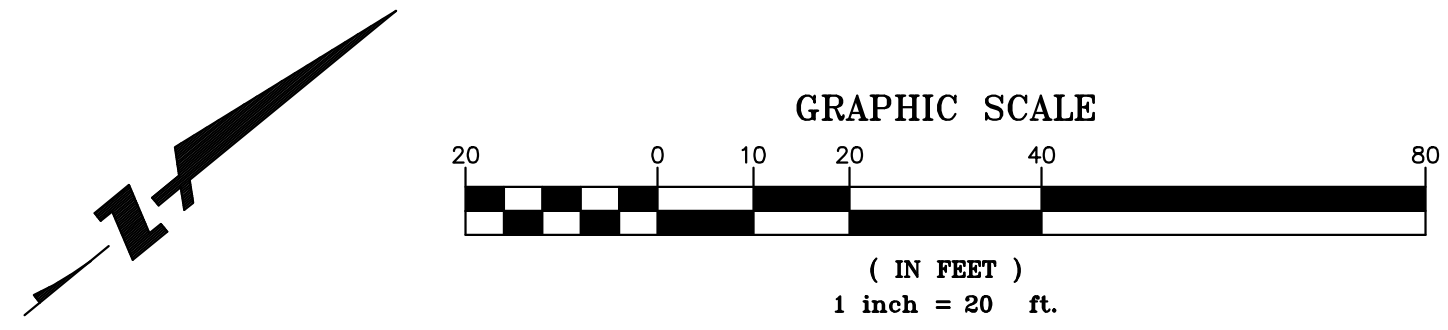
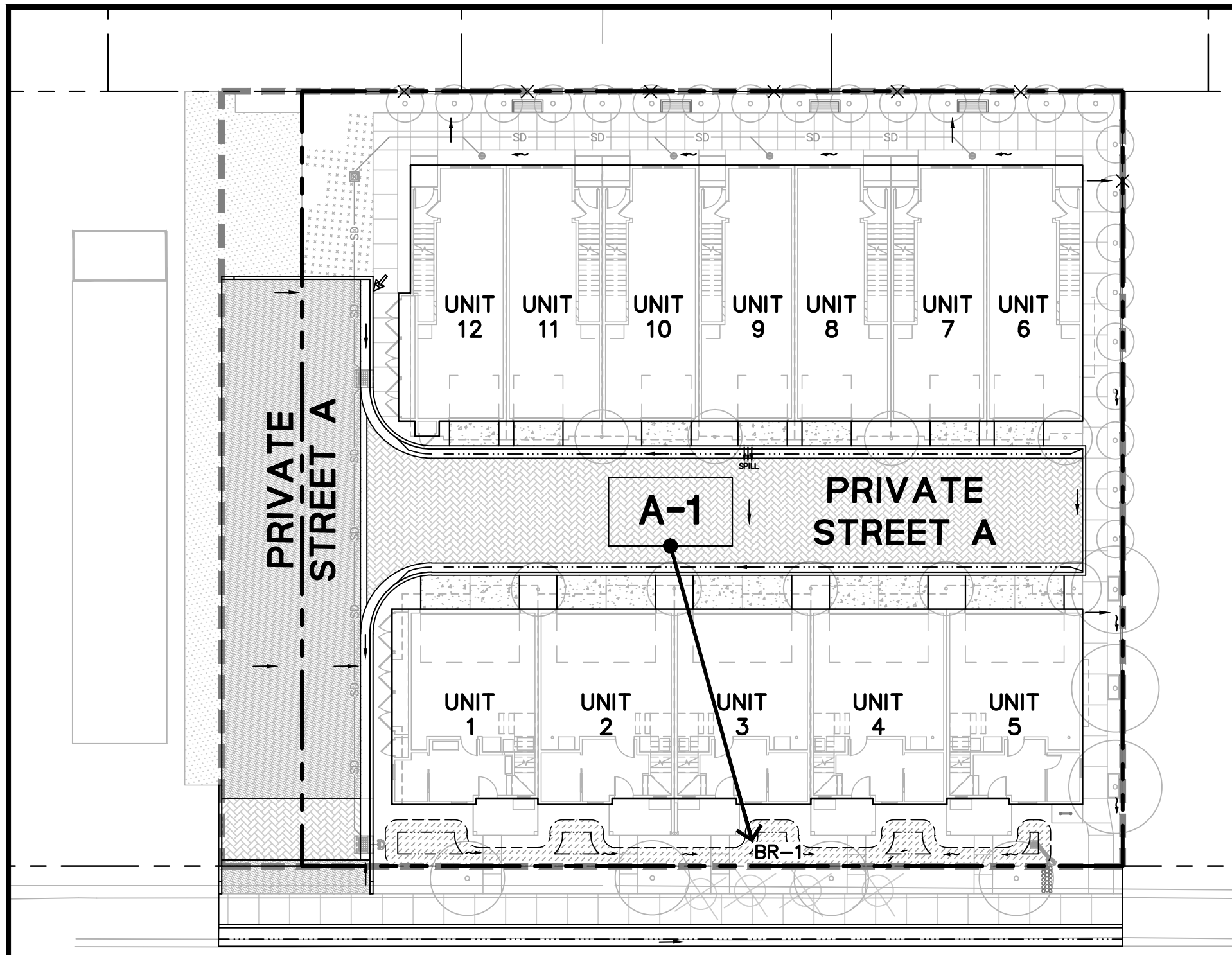
BKF ENGINEERS
1730 N. FIRST STREET
SUITE 600
SAN JOSE, CA 95112
(408) 467-9100
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PALO ALTO SANTA CLARA COUNTY

VESTING TENTATIVE MAP
739 SUTTER AVENUE
PRELIMINARY UTILITY PLAN

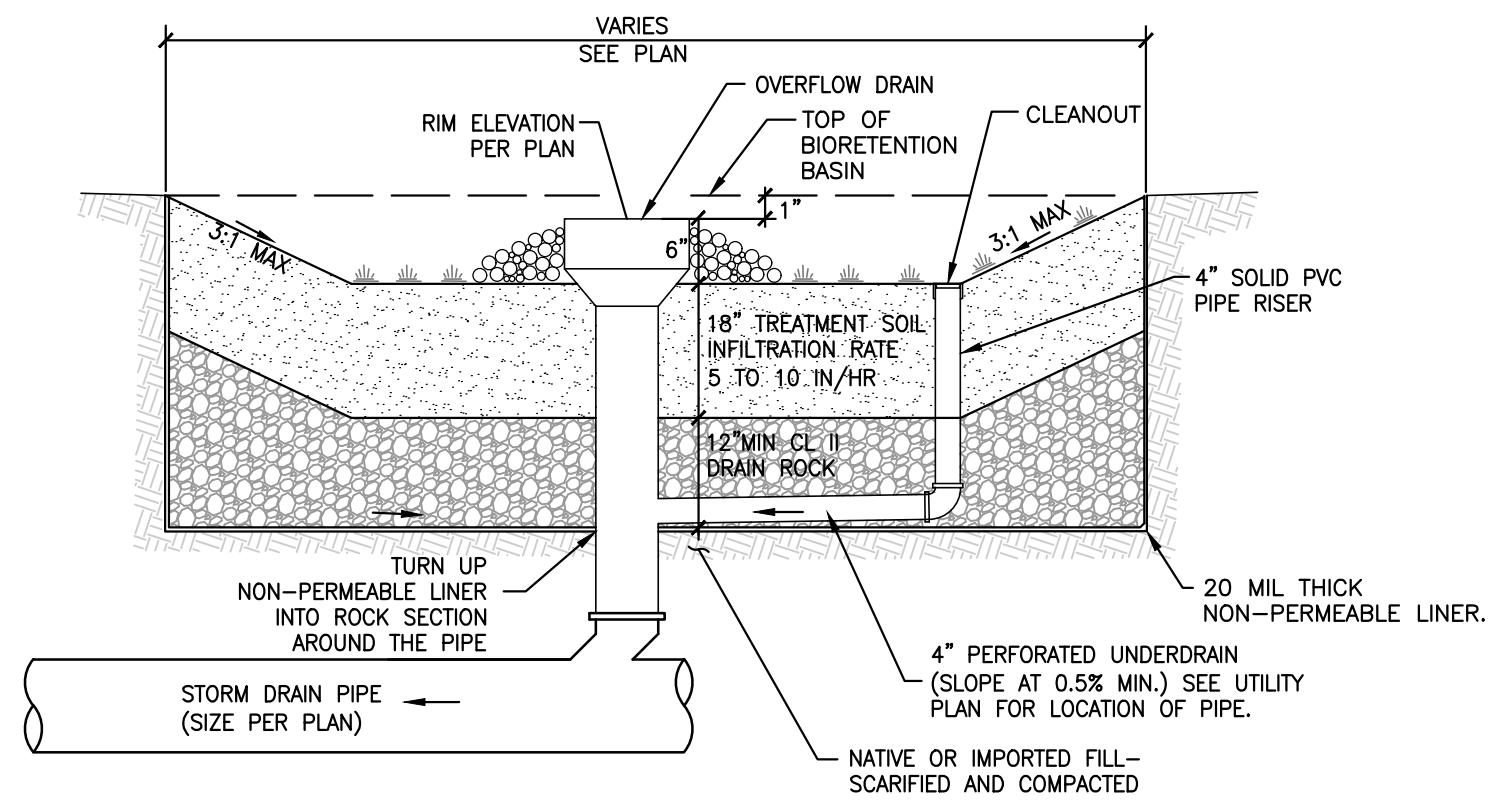
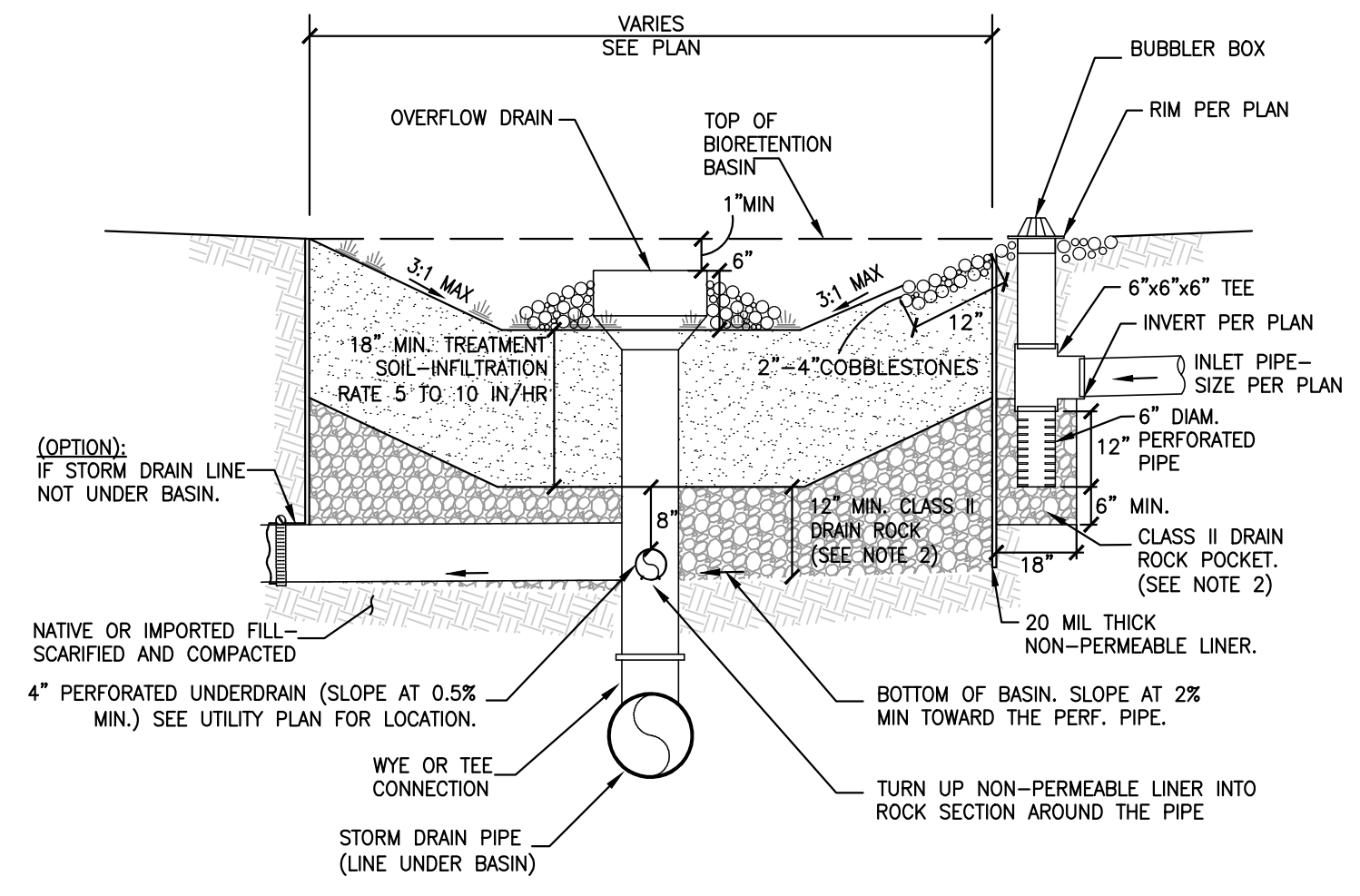
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DRAWN: JH
APPROVED: PK
JOB NO: C20220187

Drawing Number:
C6.0
6 OF 7



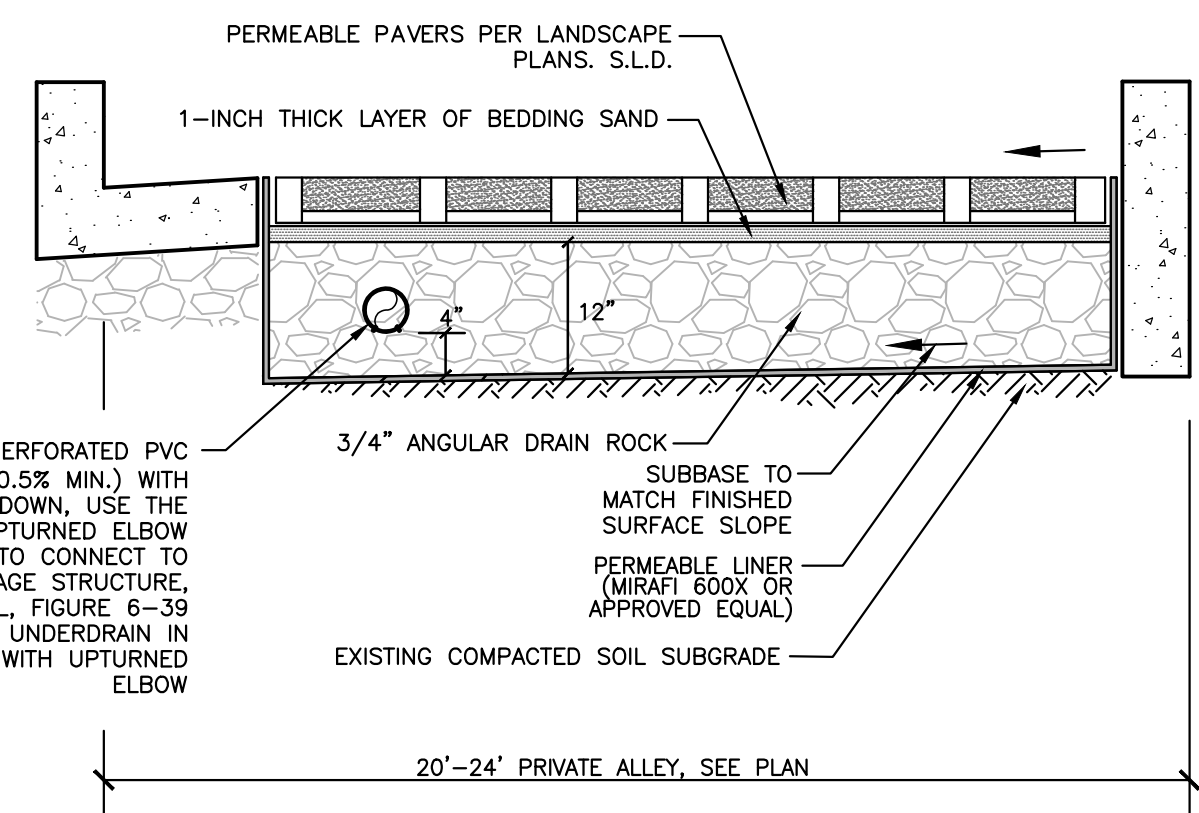
LEGEND

- BOUNDARY LINE
- LOT LINE
- EASEMENT LINE
- ROADWAY CENTER LINE
- ASPHALT CONCRETE
- PCC CONCRETE
- GRASS PAVER
- BIORETENTION BASIN
- DRAINAGE MANAGEMENT AREA
- STORM DRAIN (TREATED)
- STORM DRAIN (UNTREATED)
- STORM DRAIN FORCE MAIN
- STORM DRAIN DROP INLET
- STORM DRAIN JUNCTION BOX
- FLOW DIRECTION (PLANTING AREA)



- NOTE:**
- BACKFILL BIORETENTION ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL. CONTRACTOR MUST COORDINATE WITH CIVIL ENGINEER PRIOR TO CONSTRUCTION.
 - DRAIN ROCK TO BE CLASS 2 PERMEABLE MATERIAL PER CALTRANS STANDARD SPECIFICATIONS, SECTION 68-2.02F.
 - PERFORATED PIPE SHALL BE SOLVENT WELD PVC SDR 35 (OR APPROVED EQUAL) WITH PERFORATIONS FACED DOWN. LOCATION OF THE PIPE VARIES, SEE PLAN.
 - FOR ANY HORIZONTAL LINER PENETRATIONS, RADIAL-CUT THE LINER FOR PIPE. MASTIC AND SEAL WITH PIPE CLAMP TO INSURE WATER-TIGHT SEAL.

SUTTER AVENUE



PERMEABLE PAVER SECTION

BIORETENTION BASIN SECTION

- NOTES:**
- STORMWATER BEST MANAGEMENT PRACTICES (BMPs) ASSOCIATED WITH REFUSE MANAGEMENT (INCLUDING ACTIONS RELATED TO REFUSE PICK-UP AND THE ENCLOSURE ITSELF) SHALL BE FOLLOWED TO ENSURE POLLUTION PREVENTION AND PREVENTING POTENTIAL DISCHARGES TO THE CITY'S STORM DRAIN SYSTEM. STORMWATER BMPs INCLUDE, BUT ARE NOT LIMITED TO, POWER WASHING THE PAVEMENT ON BOTH THE PRIVATE PROPERTY AND IN THE RIGHT-OF-WAY AND SIDEWALK A MINIMUM OF ONCE PER YEAR BEFORE THE WET SEASON BEGINS ON OCTOBER 1ST; UTILIZING A POWER WASHING CONTRACTOR THAT IS A RECOGNIZED SURFACE CLEANER BY THE BAY AREA STORMWATER MANAGEMENT AGENCIES ASSOCIATION (BASMAA); DISPOSING OF WASH WATER ACCORDING TO THE RECOGNIZED SURFACE CLEANER CERTIFICATION REQUIREMENTS; AND REMOVING ANY POTENTIAL TRASH BUILD-UP ON A REGULAR BASIS.
 - DURING THE BEGINNING OF THE CONSTRUCTION, THE PROJECT APPLICANT SHALL ARRANGE FOR A SITE VISIT (INSPECTION) BY A THIRD-PARTY REVIEWER ACCEPTABLE TO THE CITY OF PALO ALTO THAT THE INSTALLED STORMWATER TREATMENT MEASURES HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE APPROVED BUILDING PLANS. THE THIRD-PARTY REVIEWER WILL RECOMMEND THE REQUIRED NUMBER OF SITE INSPECTIONS AT DIFFERENT INTERVALS OF CONSTRUCTION. THE THIRD-PARTY REVIEWER MUST BE A CIVIL ENGINEER, ARCHITECT OR LANDSCAPE ARCHITECT REGISTERED IN THE STATE OF CALIFORNIA AND MUST HAVE A CURRENT TRAINING ON STORMWATER TREATMENT DESIGN. A LIST OF QUALIFIED THIRD-PARTY REVIEWERS CAN BE FOUND ON THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM (SCVURPPP) WEBSITE AT WWW.SCVURPPP-W2K.COM/CONSULTANTS_LIST.SHTML.
 - PERMEABLE PLANTING MATERIAL SHOULD MEET THE BIOTREATMENT SOIL MIX (BSM) SPECIFICATIONS PER SCVURPPP C.3 STORMWATER HANDBOOK, APPENDIX C.
 - CITY TO APPROVE SURFACE RELEASE FROM BUBBLER ASSEMBLY TO STREET OVER SIDEWALK.
 - PAMC 16.09.165(H) STORM DRAIN LABELING: STORM DRAIN INLETS SHALL BE CLEARLY MARKED WITH THE WORDS "NO DUMPING - FLOWS TO [CREEK]" OR EQUIVALENT.

TREATMENT CONTROL MEASURE SUMMARY

DRAINAGE AREAS	DRAINAGE AREA SIZE (SF)	PERVIOUS SURFACE PERVIOUS PAVEMENT (SF)	PERVIOUS SURFACE OTHER (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	IMPERVIOUS SURFACE TYPE (SF)			SIZING CALCULATION	PONDING DEPTH (IN)	TREATMENT REQUIRED (SF)	TREATMENT PROVIDED (SF)	PROPOSED TREATMENT CONTROLS	NOTES
						ROOF (C=0.90)	CONCRETE (C=0.90)	PAVING (C=0.90)						
A-1	18,354	2,240	3,364	LANDSCAPE (C=0.30)	12,750	7,955	2,088	2,707	4% RULE	6	510	515	BR-1 BIORETENTION BASIN 1	

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(408) 467-9100
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VESTING TENTATIVE MAP
739 SUTTER AVENUE
PRELIMINARY STORMWATER CONTROL PLAN
 PALO ALTO SANTA CLARA COUNTY CA



Date: 2/20/2024
Scale: AS SHOWN
Design: CA/JH
Drawn: JH
Approved: PK
Job No: C20220187

Drawing Number:
C7.0
7 OF 7


DRAWING NAME: C:\Users\jphub1\OneDrive\Documents\2024\2024-02-20\739SUTTER-TMP-SW.dwg PLOTTED BY: jphub1

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**

For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.



TREE DISCLOSURE STATEMENT

CITY OF PALO ALTO
Planning Division, 250 Hamilton Avenue
Palo Alto, CA 94301
(650) 329-2441
<http://www.cityofpaloalto.org>

Palo Alto Municipal Code, Chapter 8.10.040, requires disclosure and protection of certain trees located on private and public property, and that they be shown on approved site plans. A completed disclosure statement must accompany all building permit applications that include exterior work, all demolition or grading permit applications, or other development activity.

PROPERTY ADDRESS: _____

Are there Regulated trees on or adjacent to the property? **YES** **NO** (If no, proceed to Section 4)

[Sections 1-4 MUST be completed by the applicant. Please circle and/or check where applicable.]

1. Where are the trees? Check those that apply. (Plans must be submitted showing over 4" diameter trees)

On the property
 On adjacent property overhanging the project site
 In the City planter strip or right-of-way easement within 30' of property line (Street Trees)*

*Street trees require special protection by a fenced enclosure, per the attached instructions. Prior to receiving any permit, you must provide an authorized Street Tree Protection Verification form by calling Public Works Operations at 493-5953 for inspection of required type I, II or III fencing (see attached Detail #605).

2. Are there any Protected or Designated Trees? **YES** (Check where applicable) **NO**

Protected Tree (s)
 Designated Tree (s)
 On or overhanging the property

3. Is there activity or grading within the dripline? (radius 10 times the trunk diameter) of these trees? **YES** **NO**
If Yes, a Tree Preservation Report must be prepared by an ISA certified arborist and submitted for staff review (see TTM, Section 6.25). Attach this report to Sheet T-1, Tree Protection, as Part of the Plan, per Site Plan Requirements.

4. Are the Site Plan Requirements** completed? **YES** **NO**

**Protection of Regulated trees during development require the following: (1) Plans must show the measured trunk diameter and canopy dripline; (2) Plans must denote, as a bold dashed line, a fenced enclosure area to the dripline, per Sheet T-1 and Detail #605 - <http://www.cityofpaloalto.org/trees/forms.htm> (See also TTM, Section 2.15 for area to be fenced)

I, the undersigned, agree to the conditions of this disclosure. I understand that knowingly or negligently providing false or misleading information in response to this disclosure requirement constitutes a violation of the Palo Alto Municipal Code Section 8.10.040, which can lead to criminal and/or civil legal action.

Signature: _____ Print: _____ Date: _____
(Prop. Owner or Agent)

FOR STAFF USE:

Protective Fencing Sections 5-6 must be completed by staff for the issuance of any development permit (demolition, grading or building permit).

5. Protected Trees. The specified tree fencing is in place. A written statement is attached verifying that protective fencing is correctly in place around protected and/or designated trees. (N/A if there are no protected trees, check here) **YES** **NO**

6. Street Trees. A signed Public Works Street Tree Protection Verification form is attached. (N/A if there are no street trees, check here) **YES** **NO**

Regulated Trees - a) Street trees - trees on public property; b) Protected trees - Coast Live Oaks or Valley Oaks which are 11.5" in diameter or larger, Coast Redwoods which are 18" in diameter or larger, when measured 54" above natural grade; and Heritage trees as trees designated by City Council; and c) Designated Trees - commercial or non-residential property trees, which are part of an approved landscape plan.
Palo Alto Tree Technical Manual (TTM) contains instructions for all requirements on this form, available at <http://www.cityofpaloalto.org/planning-community/tree-technical-manual.html>

S:\Plan\Plan\Arbors\Tree Protection Info\Tree Disclosure Statement Revised 08/06

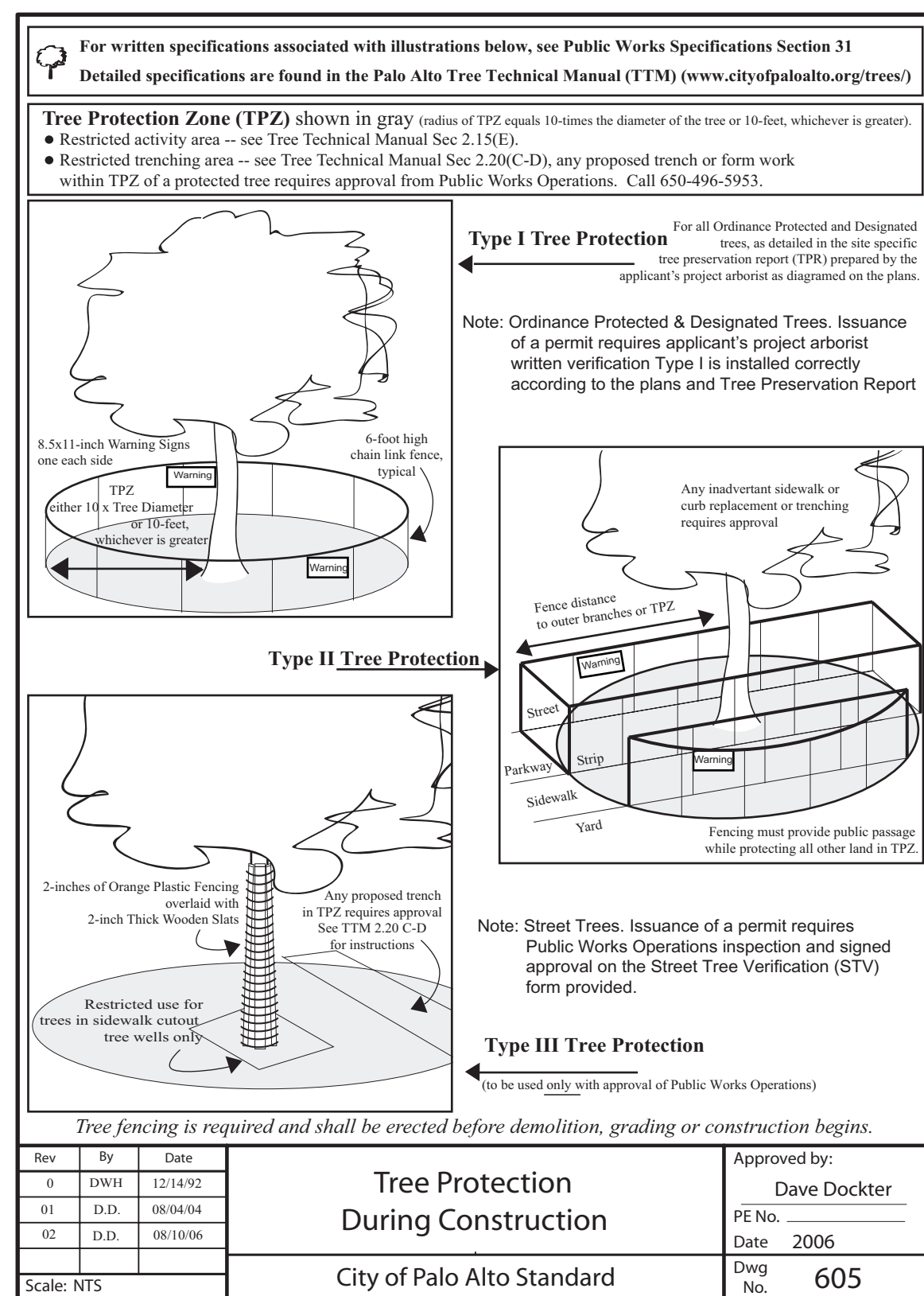


Table 2-2 Palo Alto Tree Technical Manual

CONTRACTOR & ARBORIST INSPECTION SCHEDULE

Reference: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/

ALL CHECKED ITEMS APPLY TO THIS PROJECT:

- Inspection of Protective Tree Fencing** For Public Trees, the Street Tree Verification Form shall be signed by the City Arborist. For Protected Trees, the project site arborist shall provide an initial Monthly Tree Activity Report form with a photograph verifying that he has conducted a field inspection of the trees and that the correct type of protective fencing is in place around the designated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. (See TTM, Verification of Tree Protection, Section 1.39).
- Pre-Construction Meeting** Prior to commencement of construction, the applicant or contractor shall conduct a pre-construction meeting to discuss tree protection with the job site superintendent, grading operators, project site arborist, City Arborist, and, if a city maintained irrigation system is involved, the Parks Manager (Contact 650-496-6962).
- Inspection of Rough Grading or Trenching** Contractor shall ensure the project site arborist performs an inspection during the course of rough grading or trenching adjacent to or within the TPZ to ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if required, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide the project arborist at least 24 hours advance notice of such activity.
- Monthly Tree Activity Report Inspections** The project site arborist shall perform a minimum monthly activity inspection to monitor and advise on conditions, tree health and retention or, immediately if there are any revisions to the approved plans or protection measures. The Tree Technical Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. landscape review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-2154. (See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & Section 1.17).
- Special activity within the Tree Protection Zone** Work in the TPZ area (see also #7 below) requires the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & Equipment, Section 2.20 C).
- Landscape Architect Inspection** For discretionary development projects, prior to temporary or final occupancy the applicant or contractor shall arrange for the Landscape Architect to perform an on site inspection of all plant stock, quality of the materials and planting (see TTM, Planting Quality, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved construction plans. The Planning Dept. Landscape review staff shall be in receipt of written verification of Landscape Architect approval prior to scheduling the final inspection, unless otherwise approved.
- List Other** (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.)

S:\PND\Ops\Tree\DS\TreeProtect 5/1706

City of Palo Alto Tree Technical Manual ADDENDUM 11
RCA/ISA Certified Arborist #WE-000
Contract #____

Arborist Firm Data Here

Monthly Tree Activity Report- Construction Site

Inspection Date:	Site address:	Contractor- Main Site Contact Information	#1: Job site superintendent
Inspection # _____	Palo Alto, CA	Also present: _____	Company: _____ Email: _____ Job site Office: _____ Cell: _____ Mail: _____
Distribution:	1. City of Palo Alto 2. Others _____	Attn: Dave Dockter	Dave.dockter@cityofpaloalto.org 650-329-2440

Provide the requested minimum information with each report, customize as necessary. To be completed by project site arborist. Send monthly to city arborist at above address until project completion. Use additional sheets as needed.

- Assignment Activity (Demolition/grading/sewer/trenching/foundation list relevant visits)
 - Pre-construction meeting requirement with sub-contractors
 - Inspect to verify that tree protection measures are in place
 - Determine if field adjustments, watering or plan revisions may be needed
- Field Observations (general site-wide and list by individual tree number)
 - Tree Protection Fences (TPF) are ...
 - Trenching has/will occur ...
- Action Items (list site-wide, by tree number and date to be satisfied) and Date Due
 - Tree zone Fence (TPF) needs adjusting (tree # x, x, x)
 - Root zone buffer material (wood chips) can be installed next
 - Schedule sewer trench, foundation dig with ...
- Photographs (use often)
- Tree Location Map (mandatory 8.5 x 11 sheet)
- Recommendations, notes or monitor items for project/staff/schedule
- Past visits (list carry-over items satisfied/still outstanding)

Respectfully submitted,

Project site arborist
Consultant contact information (include email, cell#, and mailing)
Cc: _____
Enter Date CPA Monthly Tree Activity Report: Type site address here Page #1 of 1

---WARNING---

Tree Protection Zone

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

***Palo Alto Municipal Code Section 8.10.110**

City of Palo Alto Tree Protection Instructions are located at <http://www.city.palo-alto.ca.us/trees/technical-manual.html>

SPECIAL INSPECTIONS	TREE PROTECTION INSPECTIONS MANDATORY	PLANNING DEPARTMENT
PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PROJECT SITE ARBORIST IS PERFORMING REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WRITTEN MONTHLY TREE ACTIVITY REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW STAFF BEGINNING 14 DAYS AFTER BUILDING PERMIT ISSUANCE. BUILDING PERMIT DATE: _____ DATE OF 1 ST TREE ACTIVITY REPORT: _____ CITY STAFF: _____	REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SHALL CONFORM TO SHEET T-1 FORMAT. VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLEMENTED AND WILL INCLUDE ALL CONTRACTOR ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE IS SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL, SECTION 2.00 AND ADDENDUM 11.	

Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed

Project Data

PALO ALTO STREET TREE PROTECTION INSTRUCTIONS
-SECTION 31-

31-1 General

a. **Tree protection has three primary functions:** 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved.

b. **The Tree Protection Zone (TPZ)** is a restricted area around the base of the tree with a radius of ten-times the diameter of the tree's trunk or ten feet, whichever is greater, enclosed by fencing.

31-2 Reference Documents

a. Detail #605 - Illustration of situations described below.

b. **Tree Technical Manual (TTM) Forms** (<http://www.cityofpaloalto.org/trees/>)

- Trenching Restriction Zones (TTM, Section 2.20(C))
- Arborist Reporting Protocol (TTM, Section 6.23)
- Site Plan Requirements (TTM, Section 6.2)
- Tree Disclosure Statement (TTM, Appendix J)

c. **Street Tree Verification (STV) Form** (<http://www.cityofpaloalto.org/trees/forms>)

31-3 Execution

a. **Type I Tree Protection:** The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations.

b. **Type II Tree Protection:** For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use.

c. **Type III Tree Protection:** To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slat board securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist.

d. **Size, type and area to be fenced.** All trees to be preserved shall be protected with six (6) foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form.

e. **Warning signs.** A warning sign shall be weather proof and prominently displayed on each fence at 20-foot intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110."

f. **Duration.** Tree fencing shall be erected before demolition, grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works.

31-4 During construction


- All neighbors' trees that overhang the project site shall be protected from impact of any kind.
- The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code.
- The following tree preservation measures apply to all trees to be retained:
 - No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ.
 - The ground under and around the tree canopy area shall not be altered.
 - Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival.

END OF SECTION
City of Palo Alto 2004 Standard Drawings and Specifications
Street Tree Verification of Protection, PWE, Section 31
Revised 08/06

City of Palo Alto
250 Hamilton Avenue, Palo Alto, CA 94301

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Tree Technical Manual

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June, 2001 First Edition

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- Section 2.0 - Protection of Trees During Construction (PDF, 259KB)
- Section 3.0 - Removal, Replacement & Planting of Trees (PDF, 117KB)
- Section 4.0 - Hazardous Trees (PDF, 105KB)
- Section 5.0 - Tree Maintenance Guidelines (PDF, 110KB)
- Section 6.0 - Tree Reports (PDF, 84KB)

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APPENDICES

A: Palo Alto Municipal Code Chapter 8.10, Tree Preservation & Management Regulations

B: Tree City - USA

C: ISA Hazard Evaluation Form

D: List of Inherent Failure Patterns for Selected Species (Reference source)

E: ISA Tree Pruning Guidelines (PDF, 1.89MB)

F: Tree Care Safety Standards, ANSI Z133.1-1994 (Reference source)

G: Pruning Performance Standards, ANSI A300-1995 (Reference source)

H: Tree Planting Details, Diagram 504 & 505

I: Tree Disclosure Statement

J: Palo Alto Standard Tree Protection Instructions

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City-owned Trees

Privately-owned Trees

About the Tree Ordinance

Title 8.10

Heritage Trees

Forms

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FAQs

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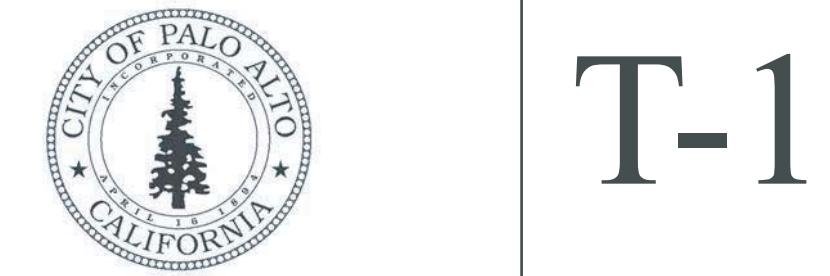
Resources



All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at <http://www.cityofpaloalto.org/civica/filebank/blobload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet

City of Palo Alto



T-1

City of Palo Alto
Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
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Apply Tree Protection Report on sheet(s) T-2
Use additional "T" sheets as needed

Project
Data

T-2



All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-2