ABBREVIATONS ABOVE PERPENDICULAR A.F.F. ABOVE FINISH PROPERTY LINE F.O. FACE OF **FLOOR** FACE OF FINISH P.LAM PLASTIC LAMINATE ADDTL. ADDITIONAL FOS FACE OF STUD PLAS. PLASTER ADJACENT FIREPLACE PLYWD. PLYWOOD ALTERNATE FIRE SPRINKLER PNT ALUM. ALUMINUM F.S. PREFAB PRE-FABRICATED FINISH SURFACE APPROX APPROXIMATE PRESSURE-TREATED **FOOTING** ARCH. ARCHITECTURAL, GAUGE ARCHITECT PAINTED PTD. GALVANIZED ATTN. ATTENTION **GENERAL** QTY. QUANTITY BOARD CONTRACTOR REFERENCE BDRM. BEDROOM **GENERAL** GEN REFER REFRIGERATOR BLDG. BUILDING GLASS REINF. REINFORCING BLK. BLOCK GLUE LAMINATED REQ REQUIREMENTS BLKG. BLOCKING REQ'D. REQUIRED GALVANIZED B.O. **BOTTOM OF** SHEET METAL RETAINING BEDROOM ROOM **GUARDRAIL** B/S BACKSPLASH SAF GWB **GYPSUM WALL** SELF-ADHESIVE FLASHING SASM SELF-ADHESIVE SHEET BTWN. BETWEEN BOARD BYND BEYOND MEMBRANE FLASHING H.D.GALV. HOT DIPPED C.T. CERAMIC TILE SEE CIVIL DRAWINGS **GALVANIZED** CABINET HOLLOW META STRUC. ENGINEER CALCS. CALCULATIONS **HIGH POINT** SEE LANDSCAPE DWGS CEMENT SEE MECHANICAL DWGS **HARDWARE** SEE STRUCTURAL DWGS **CENTER LINE** SSD **HORIZONTAL** CEILING **HANDRAIL** SIMILAR CLOS CLOSET HEIGHT SPECS. SPECIFICATIONS SPRAY POLYURETHANE CLEAR HARDWOOD CONCRETE INSIDE DIMENSION **MASONRY UNIT** INSULATED GLAZING SQ. SQUARE COLUMN S.S. STAINLESS STEEL COL CONC. CONCRETE STD. STANDARD INFORMATION CONT. CONTINUOUS INSTRUC. INSTRUCTIONS STL STEEL COORD COORDINATE INSUL INSULATION, STRUC. STRUCTURE, **CENTER POINT** INSULATED **STRUCTURAL** CPT CARPE^{*} INTERIOR SUSP. SUSPENDED INT. T & B TOP & BOTTOM COUNTERSUNK JOINT CTYD LANDSCAPE COURTYARD T & G TONGUE & GROOVE DRYER LIGHT FIXTURE THERMALLY-BROKEN DBA DARK BRONZE LOWER LEVEL TELEPHONE ANODIZED LOW POINT TRANSPARENT FINISH TF DOOR LTG LIGHTING TOWN OF HILLSBOROUGH FIRE DEPARTMENT NOTES DOWNSPOUT MASTER TOP OF T.O. DEMOLITION MAXIMUM T.O.S. TOP OF SLAB T.O.W. TOP OF WALL DIAMETER MEDICINE CAB 1. ALL STRUCTURES REQUIRE FIRE SPRINKLER PROTECTION. INSTALL AN NFPA 13-D FIRE MECHANICAL TYPICAL SPRINKLER SYSTEM W/ 4-HEAD CALC AND COVERAGE THROUGHOUT THE ENTIRE HOUSE, DOWN MECHANICAL **UNDER COUNTER** INCLUDING CLOSETS & BATHROOMS. DISHWASHER DW ELECTRICAL UPPER LEVEL 2. THIS SITE IS LOCATED IN A HIGH HAZARD FIRE AREA AND SHALL COMPLY W/ WILDLAND DRAWINGS & PLUMBING UNLESS NOTED (E) **EXISTING** MFR. MANUFACTURER OTHERWISE URBAN INTERFACE (WUI) REQUIREMENTS PER 2019 CALIFORNIA RESIDENTIAL CODE. EXPANSION JOINT MIN. MINIMUM VERIFY IN FIELD EA. EACH MAIN LEVEL VEF VERIFY ELEV. ELEVATION MTD MOUNTED VENT. VENTILATION ENG. ENGINEER, MTL VERT. VERTICAL **ENGINEERED** EQUAL N.I.C. NOT IN CONTRACT WITHOUT W/O EQUIPMENT N/A NOT AVAILABLE WATER CLOSET **EXPANSION** NTS NOT TO SCALE WD WOOD EXT. **EXTERIOR** OWNER WDW WINDOW FAN COIL UNIT OVER W.O. WHERE OCCURS FOREGROUND ON CENTER WATERPROOFING WP OUTSIDE DIMENSION WRB WATER-RESISTIVE FINISH GRADE F.F. OPP. OPPOSITE FINISH FLOOR WS WEATHERSTRIPPING OTB OPEN TO BEYOND FIN. FINISH SYMBOLS <u> PLAN</u> **1** DRAWING TITLE REFERENCE PT, WORK PT, DIMENSION PT, ELEVATION PT 101 **ROOM NUMBER** (A) WINDOW NUMBER **DETAIL KEY** (101A) DOOR NUMBER DIMENSION SECTION KEY, A3.2 **ELEVATION KEY** DIMENSION INT. ELEV KEY ALIGN FACE OF FINISHES **COLUMN LINE** PARTITION TYPE

1

REVISION TAG

CONCEPT RENDERING



(VIEW WITHIN SITE, LOOKING SOUTH)

SPECIAL NOTES

PROJECT INFORMATION

TREE PROTECTION SHEET TREE PROTECTION SHEET GB-1 GREEN BLDG CHECKLIST

SITE SURVEY

A0.1A AERIAL IMAGE A0.1B SITE PHOTOS

OVERALL SITE / FIRE ACCESS PLAN C2.0 PRELIMINARY GRADING AREA CALCS & DIAGRAM

L1.00 CONCEPT LANDSCAPE PLAN L1.01 SITE IMPERVIOUS CALCS

L1.02 REPRESENTATIVE PLANT

LIST & PLANT IMAGES

MATERIALS BOARD

<u>ARCHITECTURAL</u>

A1.1 SITE PLAN A1.2 FIRST FLOOR KEY PLAN

FIRST FLOOR PLAN - SOUTH FIRST FLOOR PLAN - NORTH FIRST FLOOR PLAN - WEST

A1.3 SECOND FLOOR KEY PLAN

SECOND FLOOR PLAN - NORTH SECOND FLOOR PLAN - WEST

A2.6 ROOF PLAN

DRAWING INDEX

A5.0A EXTERIOR KEY ELEVATIONS

A5.0B EXTERIOR KEY ELEVATIONS

A5.2 EXTERIOR ELEVATIONS

(RESERVED)

SECTIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

EXTERIOR ELEVATIONS

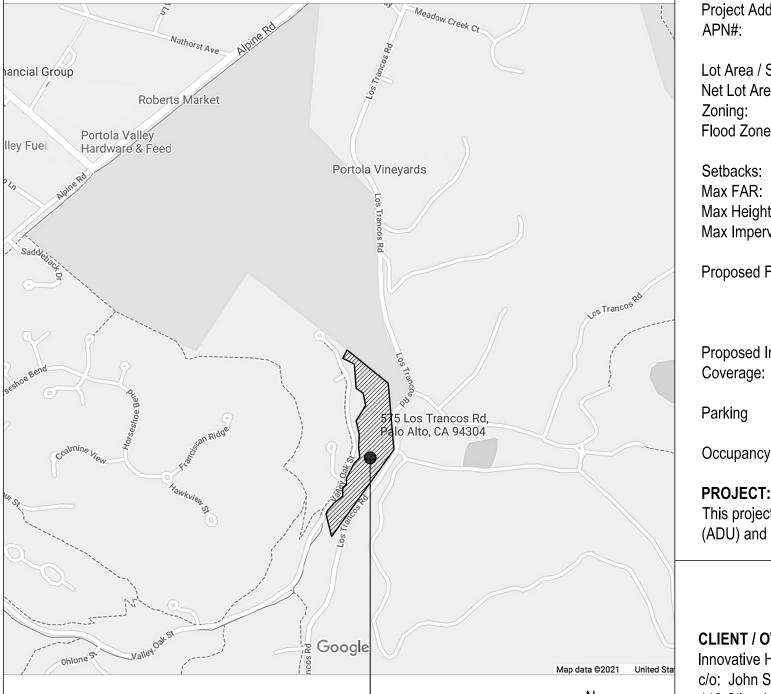
& DRAINAGE PLAN

lnAlARCHITECTURE

> WWW.LNAI.COM 650.678.4965

575 Los Trancos Road Palo Alto, CA 94304 Private Residence

LOCATION MAP



PROJECT SITE

PROJECT INFORMATION

575 Los Trancos, Palo Alto, CA 94304 Project Address: APN#:

182-46-012

+/- 234,352.8 SF (+/- 5.38 acres) Lot Area / Site Area: +/- 224,291.4 SF Net Lot Area:

Zoning

Flood Zone / Historic Status: No / None

Setbacks: 30' Front, Sides & Rear Max FAR: +/- 9,374 SF (4% of Site Area) Max Height/Stories: 25' / 2-stories +/- 9,374 SF (4% of Site Area) Max Impervious Coverage:

Proposed Floor Area:

8,005 SF (Main House: 7110sf; 2nd Unit: 895sf)

(Main House: L1 = 3988sf; L2 = 2388sf; Garage: 734sf)

Proposed Impervious

7,313 SF

(Bldg Coverage: 5,617sf + Site Impervious Hardscape: 1,696sf)

4 spaces required; 4 spaces provided (3 covered, 1 uncovered) Parking

Occupancy Class / Type of Construction: R-3 / V-B

PROJECT:

This project consists of a new single family residence with attached garage, a new 2nd unit (ADU) and associated site improvements including swimming pool.

PROJECT DIRECTORY

CLIENT / OWNER Innovative Homes LLC c/o: John Suppes 412 Olive Avenue Palo Alto, CA 94306 john@clarum.com

ARCHITECT LNAI | Architecture Leonard Ng 10 Rollins Road, #207

Millbrae, CA 94030 tel: 650-678-4965 LN@LNAI.COM STRUCTURAL ENGINEER

ZFA Structural Engineers Joel Pancoast, Jason Powers 1390 El Camino Real, #100 San Carlos, CA 94070 tel: 650-394-8869 joelp@zfa.com

SURVEYOR Chappell Surveying Inc. Kielty Arborist Services Brett Chappell Kevin Kielty, David Beckham 147 North 1st Ave P.O. Box 6187 Oakdale, CA 95361 San Mateo, CA 94403 tel: 408-910-5688 tel: 650-515-9783 mf@leabraze.com kkarbor0476@yahoo.com

Lea & Braze Engineers Inc. Johnny Chiu, Matthew Hoang 2495 Industrial Parkway West Hayward, CA 94545 tel: 510-887-4086 x157

LANDSCAPE ARCHITECT In Situ Landscape Architecture Horngsheng Tu tel: 415.412.7891 h.tu@insitulandscape.com

jchiu@leabraze.com

DRAWING RELEASE STATUS DATE 6/28/2021 SITE & DESIGN REVIEW SITE & DESIGN REVISION 8/24/2021 10/1/2021 SITE & DESIGN REVISION COUNCIL REVISION 3/10/2023 6/1/2023 PLANNING REVISION 4/8/2021 202015 AS NOTED DRAWN BY SHEET TITLE PROJECT INFORMATION

A0.0

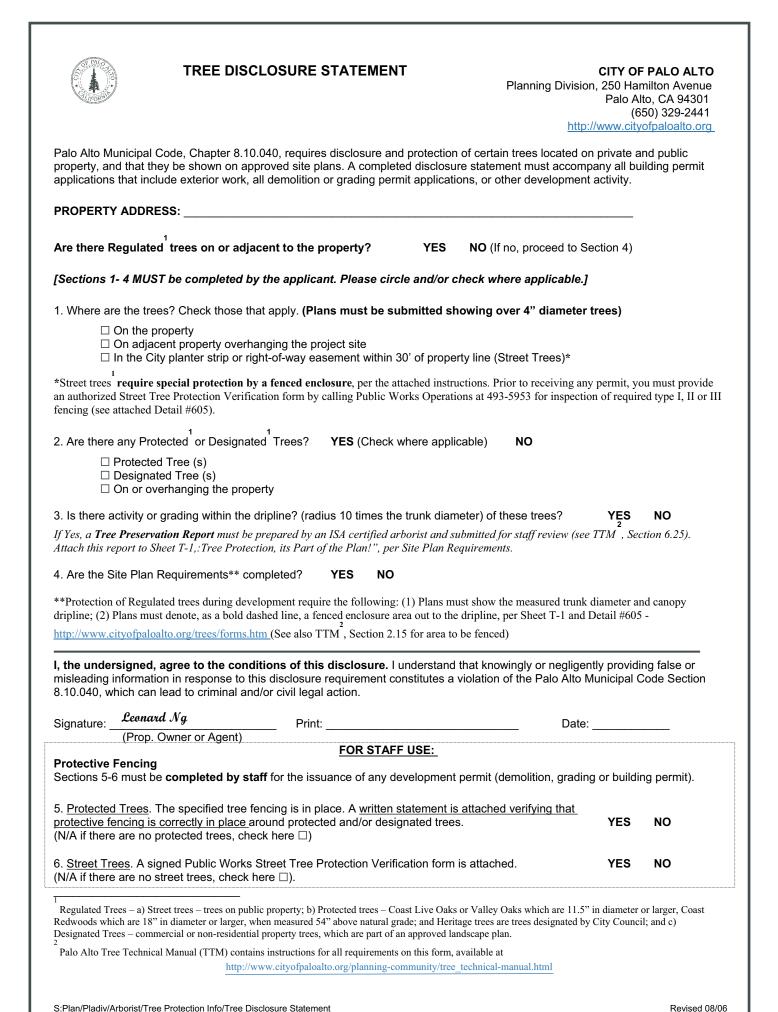
SHEET#

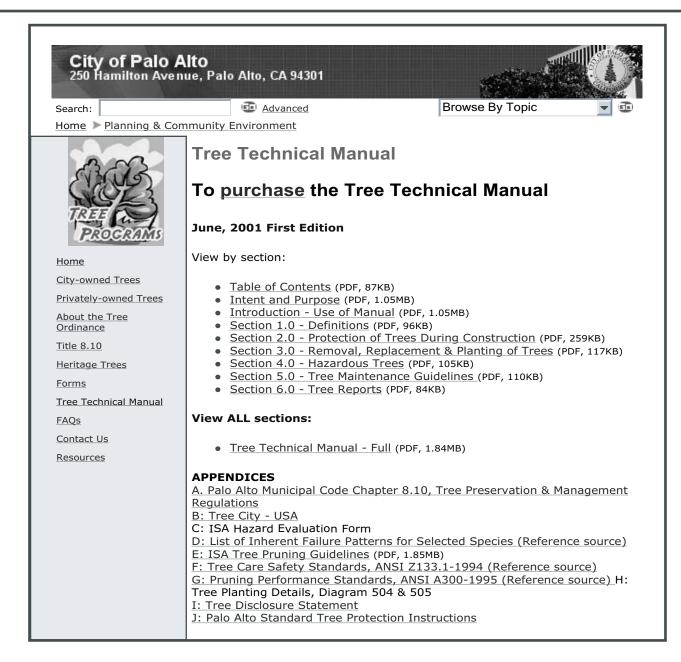
Tree Protection - It's Part of the Plan!

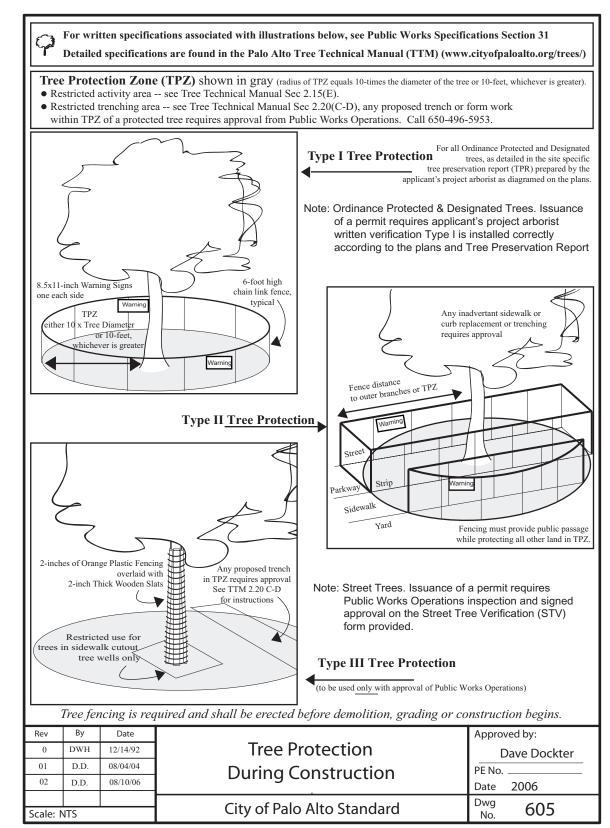
Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.

For detailed information on Palo Alto's regulated trees and protection during development, review the City Tree Technical Manual (TTM) found at www.cityofpaloalto.org/trees/.







| | OF PALO | APPENDIX . |
|------|----------|--|
| * | | PALO ALTO |
| | LIFORNI | STREET TREE PROTECTION INSTRUCTIONSSECTION 31 |
| 31-1 | Genera | I |
| | a. b. | Tree protection has three primary functions , 1) to keep the foliage canopy and branching structure clear from contact by equipment, materials and activities; 2) to preserve roots and soil conditions in an intact and non-compacted state and 3) to identify the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. The Tree Protection Zone (TPZ) is a restricted area around the base of the tree with a radius of ten-time |
| | | the diameter of the tree's trunk or ten feet; whichever is greater, enclosed by fencing. |
| 31-2 | Referen | ce Documents |
| | a. | Detail 605 – Illustration of situations described below. |
| | b. | Tree Technical Manual (TTM) Forms (http://www.cityofpaloalto.org/trees/) 1. Trenching Restriction Zones (TTM, Section 2.20(C)) |
| | | 2. Arborist Reporting Protocol (TTM, Section 6.30) |
| | | 3. Site Plan Requirements (<u>TTM, Section 6.35</u>) |
| | | 4. Tree Disclosure Statement (TTM, Appendix J) |
| | c. | Street Tree Verification (STV) Form (http://www.cityofpaloalto.org/trees/forms) |
| 31-3 | Executi | |
| | a. | Type I Tree Protection: The fence shall enclose the entire TPZ of the tree(s) to be protected throughout the life of the construction project. In some parking areas, if fencing is located on paving or concrete that will not be demolished, then the posts may be supported by an appropriate grade level concrete base, if approved by Public Works Operations. |
| | b. | Type II Tree Protection: For trees situated within a planting strip, only the planting strip and yard side of the TPZ shall be enclosed with the required chain link protective fencing in order to keep the sidewalk and street open for public use. |
| | c. | Type III Tree Protection: To be used only with approval of Public Works Operations. Trees situated in a tree well or sidewalk planter pit, shall be wrapped with 2-inches of orange plastic fencing from the ground to the first branch and overlaid with 2-inch thick wooden slats bound securely (slats shall not be allowed to dig into the bark). During installation of the plastic fencing, caution shall be used to avoid damaging any branches. Major limbs may also require plastic fencing as directed by the City Arborist. |
| | d. | Size, type and area to be fenced. All trees to be preserved shall be protected with six (6') foot high chain link fences. Fences are to be mounted on two-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. Fencing shall extend to the outer branching, unless specifically approved on the STV Form. |
| | e. | 'Warning' signs. A warning sign shall be weather proof and prominently displayed on each fence at 20-foo intervals. The sign shall be minimum 8.5-inches x 11-inches and clearly state in half inch tall letters: "WARNING - Tree Protection Zone - This fence shall not be removed and is subject to a fine according to PAMC Section 8.10.110." |
| | f. | Duration . Tree fencing shall be erected before demolition; grading or construction begins and remain in place until final inspection of the project, except for work specifically allowed in the TPZ. Work or soil disturbance in the TPZ requires approval by the project arborist or City Arborist (in the case of work around Street Trees). Excavations within the public right of way require a Street Work Permit from Public Works. |
| | g. | During construction |
| | | All neighbors' trees that overhang the project site shall be protected from impact of any kind. The applicant shall be responsible for the repair or replacement plus penalty of any publicly owned trees that are damaged during the course of construction, pursuant to Section 8.04.070 of the Palo Alto Municipal Code. |
| | | 3. The following tree preservation measures apply to all trees to be retained: a. No storage of material, topsoil, vehicles or equipment shall be permitted within the TPZ. b. The ground under and around the tree canopy area shall not be altered. c. Trees to be retained shall be irrigated, aerated and maintained as necessary to ensure survival. |

| Table 2-2 | Palo Alto Tree Technical Manual |
|---|--|
| | CONTRACTOR & ARBORIST INSPECTION SCHEDULE |
| Rafara | ence: the Palo Alto Tree Technical Manual is available at www.cityofpaloalto.org/environment/ |
| retere | nee. the Fato Arto Tree Technical (vianual is available at www.cityofpaloaito.org/cityifolinicity |
| Inspecting signed Month inspect designs | tion of Protective Tree Fencing. For Public Trees, the Street Tree Verification Form shall be by the City Arborist. For Protected Trees, the project site arborist shall provide an initial ly Tree Activity Report form with a photograph verifying that he has conducted a field ion of the trees and that the correct type of protective fencing is in place around the ated tree protection zone (TPZ) prior to issuance of a demolition, grading, or building permit. TM, Verification of Tree Protection, Section 1.39). |
| conduc grading | nstruction Meeting. Prior to commencement of construction, the applicant or contractor shall a pre-construction meeting to discuss tree protection with the job site superintendent, g operators, project site arborist, City Arborist, and, if a city maintained irrigation system is ed, the Parks Manager (Contact 650-496-6962). |
| perforr TPZ to require | tion of Rough Grading or Trenching. Contractor shall ensure the project site arborist as an inspection during the course of rough grading or trenching adjacent to or within the ensure trees will not be injured by compaction, cut or fill, drainage and trenching, and if ed, inspect aeration systems, tree wells, drains and special paving. The contractor shall provide ject arborist at least 24 hours advance notice of such activity. |
| monthl immed Techni landsca | ally Tree Activity Report Inspections. The project site arborist shall perform a minimum by activity inspection to monitor and advise on conditions, tree health and retention or, intelligible in there are any revisions to the approved plans or protection measures. The Tree and Manual Monthly Tree Activity Report format shall be used and sent to the Planning Dept. The review staff no later than 14 days after issuance of building permit date. Fax to (650) 329-(See TTM, Monthly Tree Activity Inspection Report, Addendum 11 & section 1.17). |
| require | l activity within the Tree Protection Zone. Work in the TPZ area (see also #7 below) as the direct onsite supervision of the project arborist (see TTM, Trenching, Excavation & ment, Section 2.20 C). |
| final or on site Quality constru verifica | cape Architect Inspection. For discretionary development projects, prior to temporary or ecupancy the applicant or contractor shall arrange for the Landscape Architect to perform an inspection of all plant stock, quality of the materials and planting (see TTM, Planting y, Section 5.20.1 A) and that the irrigation is functioning consistent with the approved action plans. The Planning Dept. landscape review staff shall be in receipt of written ation of Landscape Architect approval prior to scheduling the final inspection, unless ise approved. |
| 7. List O | ther (please describe as called out in the site Tree Preservation Report, Sheet T-1, T-2, etc.) |
| * | |
| | |

| City of Palo Alt Tree Department Public Works Operations PO Box 10250 Palo Alto, CA 650/496-5953 FAX: 650/852- treeprotection@CityofPaloAlto | | A 94303 2-9289 | Verification of Street Tree Protection |
|--|--|-------------------|---|
| | | | rm. Mail or FAX this form along with signed Tree staff will inspect and notify applicant. |
| APPLICATION DA | · | | · · · · · · · · · · · · · · · · · · · |
| ADDRESS/LOCAT | | | |
| APPLICANT'S NA | ME: | | |
| APPLICANT'S AD | DRESS: | | |
| APPLICANT'S TE & FAX NUMBERS | | | |
| This section to be t | filled out by City Tree St | aff | |
| The Street Tre address(es) are | e adequately | | YES □ NO* □ |
| protected. The used is: | type of protection | | * If NO, go to #2 below |
| Inspected by: | | | |
| Date of Inspecti | on: | | |
| 2. The Street Tre address are NC protected. The modifications a Indicate how the modifications we to the applicant | OT adequately following ure required: the required vere communicated | | |
| Subsequent Inspec | ction | | |
| Street trees at aborto be adequately pr | ve address were found rotected: | * If | YES NO* NO* NO, indicate in "Notes" below the disposition of case. |
| Inpsected by: | | | |
| Date of Inspection | 1: | | |
| site, condition and | reet trees by species, type of tree protection e if pictures were f sheet if necessary. | | |
| | · | | |

| | | | Contact |
|---|--|--|--|
| M | onthly Tree Ac | tivity Repo | rt- Construction Site |
| Inspection Date: | Site address: | Contractor- Main Site Contact Information | #1: Job site superintendent Company: Email: Job site |
| Inspection # | Palo Alto, CA | Information | Office: Cell: Mail: |
| | | Also present: | : |
| Distribution: | City of Palo Alto Others | Attn: Dave Dockter | Dave.dockter@cityofpaloalto.org 650-329-2440 |
| Field Obser | untions (general site wide | | visions may be needed |
| a. Tree P b. Trench 3. Action Item a. Tree P b. Root z c. Sched | rotection Fence (TPF) ne cone buffer material (woo ule sewer trench, foundat | e and list by individue number and date to leds adjusting (tree d chips) can be instituted in dig with | hual tree number) be satisfied) and Date Due # x, x, x) |
| a. Tree P b. Trench 3. Action Item a. Tree P b. Root z c. Sched 4. Photograph 5. Tree Location | rotection Fences (TPF) a ning has/will occur is (list site-wide, by tree no trotection Fence (TPF) no trone buffer material (woo alle sewer trench, foundat is (use often) | e and list by individue number and date to eds adjusting (tree d chips) can be instituted in dig with | dual tree number) be satisfied) and Date Due # x, x, x) talled next |
| a. Tree P b. Trench 3. Action Item a. Tree P b. Root z c. Sched 4. Photograph 5. Tree Locatio 6. Recommend | rotection Fences (TPF) a ning has/will occur as (list site-wide, by tree no trotection Fence (TPF) no cone buffer material (woo alle sewer trench, foundat as (use often) on Map (mandatory 8.5 x | e and list by individue number and date to eds adjusting (tree d chips) can be instituted in the dig with 11 sheet) | dual tree number) be satisfied) and Date Due # x, x, x) talled next |
| a. Tree P b. Trench 3. Action Item a. Tree P b. Root z c. Sched 4. Photograph 5. Tree Locatio 6. Recommend | rotection Fences (TPF) and any aning has/will occur as (list site-wide, by tree notection Fence (TPF) network to be used to be u | e and list by individue number and date to eds adjusting (tree d chips) can be instituted in the dig with 11 sheet) | dual tree number) be satisfied) and Date Due # x, x, x) talled next |
| a. Tree P b. Trench 3. Action Item a. Tree P b. Root z c. Sched 4. Photograph 5. Tree Locatio 6. Recommend | rotection Fences (TPF) and aning has/will occur Is (list site-wide, by tree in the rotection Fence (TPF) nearly to be sever trench, foundate is (use often) In Map (mandatory 8.5 x dations, notes or monitor list carry-over items satisfies | e and list by individue number and date to eds adjusting (tree d chips) can be instituted in the dig with 11 sheet) | dual tree number) be satisfied) and Date Due # x, x, x) talled next |
| a. Tree P b. Trench 3. Action Item a. Tree P b. Root z c. Sched 4. Photograph 5. Tree Locatio 6. Recommend 7. Past visits (1) Respectfully so | rotection Fences (TPF) and aning has/will occur Is (list site-wide, by tree in the rotection Fence (TPF) nearly to be sever trench, foundated as (use often) In Map (mandatory 8.5 x dations, notes or monitor dist carry-over items satisfied about the data of the rotection o | e and list by individue number and date to beds adjusting (tree d chips) can be instited to dig with 11 sheet) items for project/st | dual tree number) be satisfied) and Date Due # x, x, x) talled next aff/schedule g) |

---WARNING---**Tree Protection Zone**

This fencing shall not be removed without City Arborist approval (650-496-5953)

Removal without permission is subject to a \$500 fine per day*

*Palo Alto Municipal Code Section 8.10.110 City of Palo Alto Tree Protection Instructions are located at http://www.city.palo-alto.ca.us/trees/technical-manual.html

| SPECIAL INSPECTIONS | PLANNING DEPARTMENT |
|--|------------------------------|
| TREE PROTECTION INSPECTIONS I | MANDATORY |
| PAMC 8.10 PROTECTED TREES. CONTRACTOR SHALL ENSURE PRO REQUIRED TREE INSPECTION AND SITE MONITORING. PROVIDE WR REPORTS TO THE PLANNING DEPARTMENT LANDSCAPE REVIEW ST BUILDING PERMIT ISSUANCE. | RITTEN MONTHLY TREE ACTIVITY |
| BUILDING PERMIT DATE: | |
| DATE OF 1 ST TREE ACTIVITY REPORT: | |
| CITY STAFF: | |
| REPORTING DETAILS OF THE MONTHLY TREE ACTIVITY REPORT SI VERIFY THAT ALL TREE PROTECTION MEASURES ARE IMPLIMENTED | , |

S SUBJECT TO VIOLATION OF PAMC 8.10.080. REFERENCE: PALO ALTO TREE TECHNICAL MANUAL ECTION 2.00 AND ADDENDUM 11 Apply Tree Protection Report on sheet(s) T-2

ACTIVITY, SCHEDULED OR UNSCHEDULED, WITHIN A TREE PROTECTION ROOT ZONE. NON-COMPLIANCE

Use addtional "T" sheets as needed





All other tree-related reports shall be added to the space provided on this sheet (adding as needed) Include this sheet(s) on Project Sheet Index or Legend Page.

City of Palo Alto Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree. For detailed information on Palo Alto's regulated trees and protection during development, review the City Tree Technical Manual (TTM) found at www.cityofpaloalto.org/trees/.

> SEE ARBORIST REPORT FOR INFO

> > 575 LOS TRANCOS RD, PALO ALTO

| | | | | | | Compliance Pa | | | h Verifica | tion | | |
|------------|------------------------|---|--|---------|---|---------------|------|-----------------|--------------------|-------------------|-----------------|--------------------------|
| | | | | | | Plan Che | ck | Rough Inspec | tion | Final Insp | | |
| 4.4 DI | onning and F | Daging | Code Section | | Plan Sheet, Spec or Attachment | 0000 1111 | TIAL | IVR# | | Part 1 Part | | |
| 4.1 PI | anning and D Mandatory | Storm water drainage and retention during construction (less than one acre) | Code Section \(\) 4.106.2 | T N I | Reference | CORR INI | TIAL | CORR | NITIAL | CORR INIT | AL COR | (R INITIAL |
| | Tier 2 Mand. | Topsoil protection - Tier 2 requirements | PAMC 16.14.070/ A4.106.2.3 | | | | | | \rightarrow | | + | |
| | Mandatory | Grading and paving | 4.106.3 | | | | | | 1 | | | |
| | Tier 2 Mand. | Water permeable surfaces for 30% - Tier 2 requirements | A4.106.4 | | | | | | | | | |
| ndator | | Cool roof for reduction of heat island effect -Tier 2 requirements | PAMC 16.14.070/ A4.106.5 | | | | | | | | | |
| Manc | | Electric vehicle (EV) charging for residential structures (Locally amended) | PAMC 16.14.420 / A4.106.8 | | | | | | | | | |
| ≥ | • | EV Charging: New single family residences EV Charging: New multi-family residential structures | PAMC 16.14.420/ A4.106.8.1 PAMC 16.14.420/ A4.106.8.2 | | | | | | | | + | |
| | | EV Charging: New Hotels | PAMC 16.14.420/A4.106.8.3 | | | | | | \rightarrow | | + | |
| | • | Bicycle Parking [MF] (locally amended)When an addition or change of use results in increased parking | PAMC 18.54.060/ A4.106.9 | | | | | | \rightarrow | | + | |
| | Elective | Site selection | A4.103.1 | | | | | | | | | |
| | Elective | Community connectivity | A4.103.2 | | | | | | | | | |
| | Elective | Supervision and education by a Special Inspector (Locally amended) | PAMC 16.14.090/ A4.104.1 | | | | | | | | | |
| se 4 | | Deconstruction (Locally amended, Mandatory on or after July 1, 2020) | PAMC 16.14.130/ A4.105.1 | | | | | | | | | |
| (choo | Elective Elective | Reuse of existing materials (Locally amended) Soil analysis | PAMC 16.14.130/ A4.105.2 A4.106.2.1 | | | | | | \rightarrow | | + | _ |
| S | Elective | Soil protection | A4.106.2.2 | | | _ | | | -+ | | + | |
| tive | Elective | Landscape design | A4.106.3 | | | | | | -+ | | + | |
| Elect | Elective | Vegetated roof | A4.106.6 | | | | | | \dashv | | + | |
| | Elective | Reduction of heat island effect for nonroof areas | A4.106.7 | | | | | | | | ユ | |
| | Elective | Light pollution reduction (Locally amended) | PAMC 16.14.170/ A4.106.10 | | | | | | | | | |
| | Elective | Innovative concepts and local environmental conditions | A4.108.1 | | | | | | | | | |
| PAMO | | y Reach Code | DAMO 46 47 440/ 2046 TW- 24 D 2 | 1 1 | Palo Alto Building Ingrester will week | | | 1 | | | | |
| tory | | Effective April 1, 2020: All-Electric Design with performance approach specified within the 2019 California Energy Code shall be used to demonstrate | PAMC 16.17.110/ 2016 Title 24, Part 6 | | Palo Alto Building Inspector will verify Title 24 Energy Compliance in the | | | | | | | |
| ndato | Mandatory | the energy budget calculated for the proposed design building is no greater than the energy budget calculated for the Standard | | | Field. | | | | | | | |
| Ma | | Design Building. Exception: Detached newly constructed Accessory Dwelling Units, ADU's | | | | | | | | | | |
| 4.3 W | ater Efficienc | cy and Conservation | | | | • | 1 | Į. | | | | |
| | - | Indoor Water Use: Water closets (1.28 gpf) | 4.303.1.1 | | | | | | | | | |
| | • | Indoor Water Use: Urinals (Wall Mounted 0.125 gpf, all others 0.5 gpf) | 4.303.1.2 | | | | | | | | | |
| | - | Indoor Water Use: Single showerhead (1.8 gpm at 80 psi) Indoor Water Use: Multiple showerheads serving one shower (1.8 gpm at 80 psi) | 4.303.1.3.1 | \perp | | | | | \rightarrow | | + | |
| - | • | Indoor Water Use: Residential lavatory faucets (1.2 gpm at 60 psi) | 4.303.1.3.2 4.303.1.4.1 | | | _ | | | \longrightarrow | | $+\!\!-\!\!\!-$ | |
| ato | - | Indoor Water Use: [MF] Lavatory faucets in common and public use areas (0.5 gpm at 60 psi) | 4.303.1.4.2 | | | | | | -+ | | + | _ |
| and | | Indoor Water Use: Metering faucets (0.2 gallons per cycle) | 4.303.1.4.3 | | | | | | \rightarrow | | + | |
| ≥ | _ | Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi) | 4.303.1.4.4 | | | П | | | \rightarrow | | + | |
| | _ | Indoor Water Use: Standards for plumbing fixtures and fittings (Meet 2019 Plumbing Code) | 4.303.2 | | | | | | \neg | | + | - |
| | Mandatory | Outdoor potable water use in landscape areas (MWELO) | 4.304.1 | | | | | | | | | |
| | - | Recycled water supply systems [N] | 4.305.1 | | | | | | | | | |
| | | Recycled water for landscape irrigation [MF only][AA] (when landscape >1,000 sq. ft) | PAMC 16.14.230/ A4.305.3 | | | | | | | | _ | |
| | | Kitchen faucets (1.5 gpm at 60 psi) | A4.303.1 | \perp | | | | | \rightarrow | | + | |
| - | Elective Elective | Alternate water sources for nonpotable applications Appliances | A4.303.2 A4.303.3 | | | | | | \rightarrow | | | |
| 3 | Elective | Nonwater supplied urinals and waterless toilets | A4.303.4 | | | _ | | | \longrightarrow | | $+\!\!-\!\!\!-$ | |
| ose | | Hot water recirculation systems | A4.303.5 | | | | | | -+ | | + | - |
| cho | Elective | Rainwater catchment systems | A4.304.1 | | | | | | \rightarrow | | + | |
| es (| Elective | Potable water elimination | A4.304.2 | | | | | | | | | |
| Electiv | Elective | Irrigation metering device (locally amended) | PAMC 16.14.220/ A4.304.3 | | | | | | | | | |
| Ele | Elective | Graywater (Locally amended, Whole house graywater system counts as 3 electives) | PAMC 16.14.230/ A4.305.1 | | | | | \Box | | \bot | <u> </u> | |
| | Elective | Recycled water piping (Locally amended) Recycled water for landscape irrigation (Locally amended) | PAMC 16.14.230/ A4.305.2 | | | | | | | | _ | |
| | Elective Elective | Recycled water for landscape irrigation (Locally amended) Innovative concepts and local environmental conditions | PAMC 16.14.230/ A4.305.3 A4.306.1 | | | | | | \longrightarrow | $\overline{}$ | + | + |
| 4.4 M | | ervation and Resource Efficiency | A4.300.1 | | | | | | | | | |
| | | Recycled content - 15% - Tier 2 requirements | PAMC 16.14.070 / A4.405.3.1 | | | | | | | | | |
| | - | Rodent proofing fill annular spaces around pipes, cables, conduits or other openings to protect against rodents | 4.406.1 | | | | | | | | | |
| ator. | | Enhanced construction waste reduction (80% Diversion w/ job valuation >\$25,000 or meet state standards of 65%) | PAMC 16.14.260/ 4.408.1 | | | | | | T | | <u> </u> | $\perp \perp \perp$ |
| gu | | Construction waste management plan in Green Halo | A4.408.2 4.408.3 | | | | | | | | - | |
| ž _ | • | Waste management company Operation and maintenance manual provided to the building owner | 4.410.1 | | | | | + | \longrightarrow | + | + | _ |
| | - | Recycling by occupants (≥ 5 multi-family units) | 4.410.2 | | | | | + | \dashv | + | + | |
| | | Reduction in cement use - 25% | PAMC 16.14.250/ A4.403.2 | | | _ | | + | \dashv | | + | |
| | | Efficient framing techniques - Lumber size | A4.404.1 | | | | | | | | \Box | |
| | | Efficient framing techniques - Dimensions and layouts | A4.404.2 | | | | | | \Box T | | <u> </u> | |
| | | Efficient framing techniques - Building systems | A4.404.4 | | | | | | | \longrightarrow | 4 | |
| e 4) | Elective Elective | Efficient framing techniques - Pre-cut materials and details Prefinished building materials | A4.404.4 A4.405.1 | | | | | | \longrightarrow | $\overline{}$ | + | |
| Soo | Elective | Concrete floors | A4.405.1 A4.405.2 | | | П | | + | \dashv | + | + | + |
| <u>ğ</u> – | Elective | Use of building materials from rapidly renewable sources | A4.405.4 | | | | | + | \dashv | | + | + |
| ves | Elective | Drainage around foundations | A4.407.1 | | | | | + | \dashv | | + | + |
| ecti | | Roof drainage | A4.407.2 | | | | | | | | ユ | |
| 삅 | | Flashing details | A4.407.3 | | | | | | | | 工 | |
| | Elective | Material protection Description | A4.407.4 | | | | | | | | <u> </u> | $\perp \perp \perp \mid$ |
| | Elective | Door protection Poof overhangs | A4.407.6 | | | | | | | | 4 | + |
| | Elective Elective | Roof overhangs Innovative concepts and local environmental conditions | A4.407.7 A4.411.1 | | | | | | | | + | + |
| | | | Arter(1) | | |] | | | <u> </u> | | — | |

| | | | | | | Comp | liance P | Path Veri | ification | | | | | |
|--|---------------------|---|--------------------------------|------|---------|------|-----------------|-----------|---------------|----------|---------|----------------------------------|--|--|
| | | | | Plan | Check | | gh GB ection | Fina | al Inspection | on IVR#1 | 53 | Spec | | |
| | | | Plan Sheet, Spec or Attachment | | CHOOK | | # 152 | Part 1 | | Part 2 | | | | |
| | Code Section | Y | Reference | CORR | INITIAL | CORR | INITIAL | CORR | INITIAL | CORR | INITIAL | RESIDEN | | |
| be direct-vent sealed combustion type (all-electric on of after April 1, 2020) | 4.503.1 | | | | | | | | | | | KESIDEN | | |
| openings, protection of mechanical equipment during construction | 4.504.1 | | | | | | | | | | | | | |
| ints and caulks - Table 4.504.1 and 4.504.2 for VOC limits | 4.504.2.1 | | | | | | | | | | | I have reviewe | | |
| ngs - Table 4.504.3 for VOC limits | 4.504.2.2 | | | | | | | | | | | in conformanc | | |
| nd coatings | 4.504.2.3 | | | | | | | | | | | measures clai construction re | | |
| umentation to verify complaint VOC limit on finish materials | 4.504.2.4 | | | | | | | | | | | CONSTRUCTION | | |
| compliant with VOC limits | 4.504.3 | | | | | | | | | | | | | |
| | 4.504.3.1 | | | | | | | | | | | <u></u> | | |
| Carpet adhesive - Table 4.504.1 for VOC limits | 4.504.3.2 | | | | | | | | | | | Signature (Gre | | |
| systems for 100% - Tier 2 requirements PAMC | 16.14.070/ A4.504.2 | | | | | | | | | | | | | |
| products | 4.504.5 | | | | | | | | | | | | | |
| undations - vapor retarder required | 4.505.2 | | | | | | | | | | | | | |
| or slab-on-grade foundations | 4.505.2.1 | | | | | | | | | | | Print Name | | |
| of building materials ≤ 19% for wall and floor framing | 4.505.3 | | | | | | | | | | | | | |
| st fans (when required) shall be provided with the following: | 4.506.1 | | | | | | | | | | | | | |
| R fans ducted to outside of building. | | | | | | | | | | | | Phone or Ema | | |
| olled OR functioning as a component of a whole-house ventilation system | | | | | | | | | | | | | | |
| ols with manual or automatic means of adjustment for relative humidity range of $\leq 50\%$ to | 80% max | | | | | | | | | | | | | |
| onditioning system design | 4.507.2 | | | П | | | | | | | | Date | | |
| / Management Plan | PAMC 16.14.410 | | | | | | | | | | | | | |
| formaldehyde limits PAMC | 16.14.265/ A4.504.1 | | | | | | | | | | | | | |
| PAMC | 16.14.270/ A4.504.3 | | | | | | | | | | | Certified | | |
| rs [HR] | A4.506.2 | | | | | | | | | | | Certified | | |
| ances | A4.506.3 | | | п | | | | | | | | | | |
| pts and local environmental conditions. | | | | П | | | | | | | | | | |
| | ntal conditions. | | | | | | | | | | | | | |

Legend:

Y - Yes; the measure is in the scope of work N - No; the measure is not in the scope of work

PAMC - Palo Alto Municipal Code; locally amended [N] - New Construction [MF] - Multi-family dwellings [AA] - Additions and alterations

ADU Exception:

Free standing detached Accessory Dwelling Units of new construction shall meet the following:

1. California Green Building Standards Code Mandatory plus Tier 2 prerequisite requirements.

2. No Planning and Design electives. 3. Two (2) Water Efficiency and Conservation electives.

4. Two (2) Material Conservation and Resource Efficiency electives. 5. One (1) Environmental Quality elective.

The Green Building Survey is a required project submittal. The survey can be found at the following link. The online survey shall be completed and a Green Building Survey Report will be sent in an email. Include a copy of the survey report on a separate page in this plan set. Please indicate the reference page here _

| ctio | on IVR#1 | 53 | Special Inspector Acknowledgement |
|------|----------|---------|---|
| | Part 2 | Part 2 | |
| L | CORR | INITIAL | The project will be verified by a RESIDENTIAL GREEN BUILDING SPECIAL INSPECTOR |
| | | | |
| | | | I have reviewed the project plans and specifications, and they are |
| | | | in conformance with the CALGreen mandatory and elective measures claimed. I have reviewed and understand the after- |
| | | | construction requirements below. |
| | | | |
| | | | Signature (Green Building Special Inspector) |
| | | | olgitatare (Oreen Ballating operial Inspector) |
| | | | |

Certified Energy Analyst Acknowledgement

The project will be verified by a CERTIFIED ENERGY ANALYST

REQUIREMENT EFFECTIVE ON APRIL 1, 2020

The Certificate of Compliance shall be prepared and signed by a Certified Energy Analyst and the energy budget for the Proposed Design shall be no greater than the Standard Design Building. I am a Certified Energy Analyst with the California Association of Building Energy Consultants as of the date of submission of a Certificate of Compliance as required under Section 10-103 of the Building Energy Efficiency Standards for Residential and Non-Residential Buildings. Signature (Certified Energy Analyst) Print Name Phone or Email

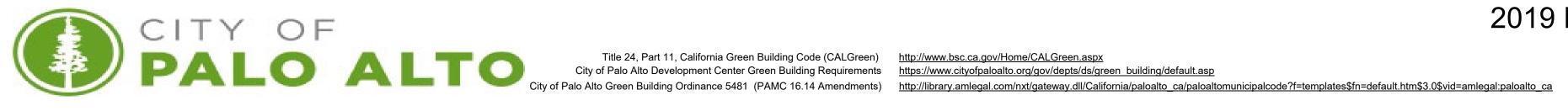
SECTION TO BE COMPLETED AFTER CONSTRUCTION

After construction is complete submit the following at the City Development Center to schedule your final inspection:

| Ш | Green Halo. |
|---------|---|
| | If HERS testing was required per the homes energy report, attach the completed forms. |
| | If there were alterations during construction that impacted the energy report (i.e. R values, U factors, Equipment Type rerun the report and attach it. |
| I certi | fy that: |
| | CALGreen inspections were performed throughout construction. |
| | The home has met the CALGreen measures as claimed on this sheet. Those required for landscaping may be exclude from this confirmation if verified within 6 months of final inspection. |
| | Through a combination of onsite inspections and confirmation from the Contractor there have been no alterations that impacted the energy report for the home, unless the new report is provided as an attachment. |
| Signa | ature (Green Building Special Inspector) |

| CITY | STA | MP | SC |)NL |
|------|-----|----|----|-----|

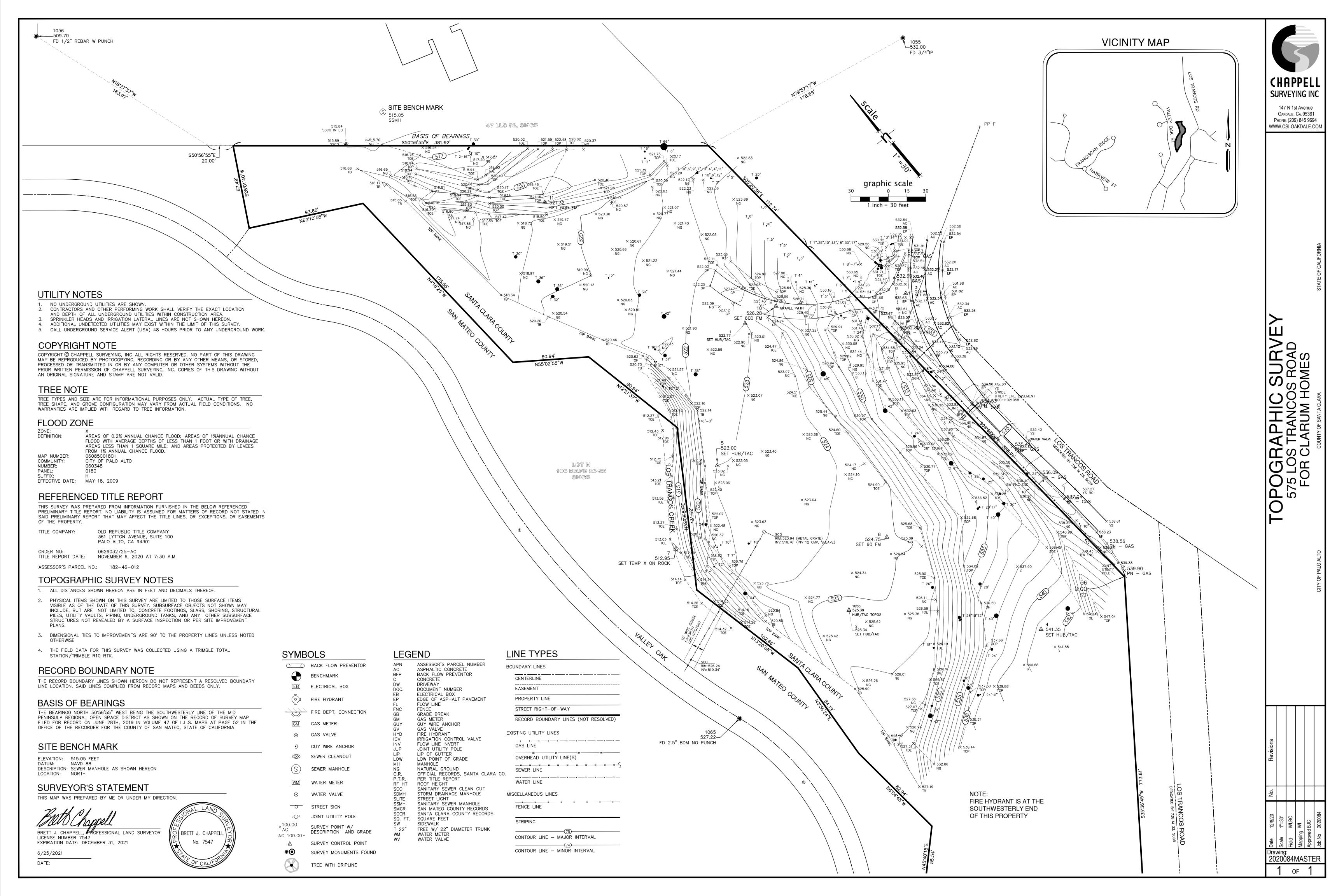
Sign only after project is complete



2019 RESIDENTIAL GREEN BUILDING APPLICATION CALGREEN + TIER 2

7

CHECKLIST





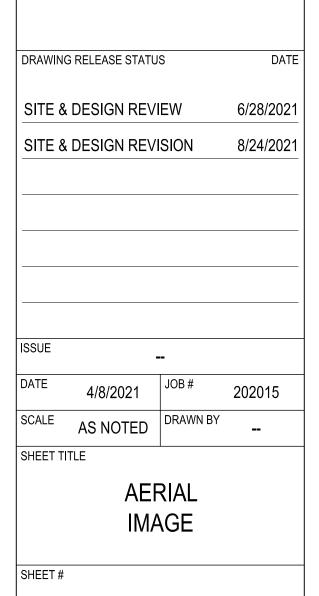
* PROPERTY LINE OVERLAY ON AERIAL ABOVE IS FOR GENERAL REFERENCE & IS APPROXIMATE ONLY (SEE SURVEY FOR SPECIFIC INFO)



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A0.1A



lnAl

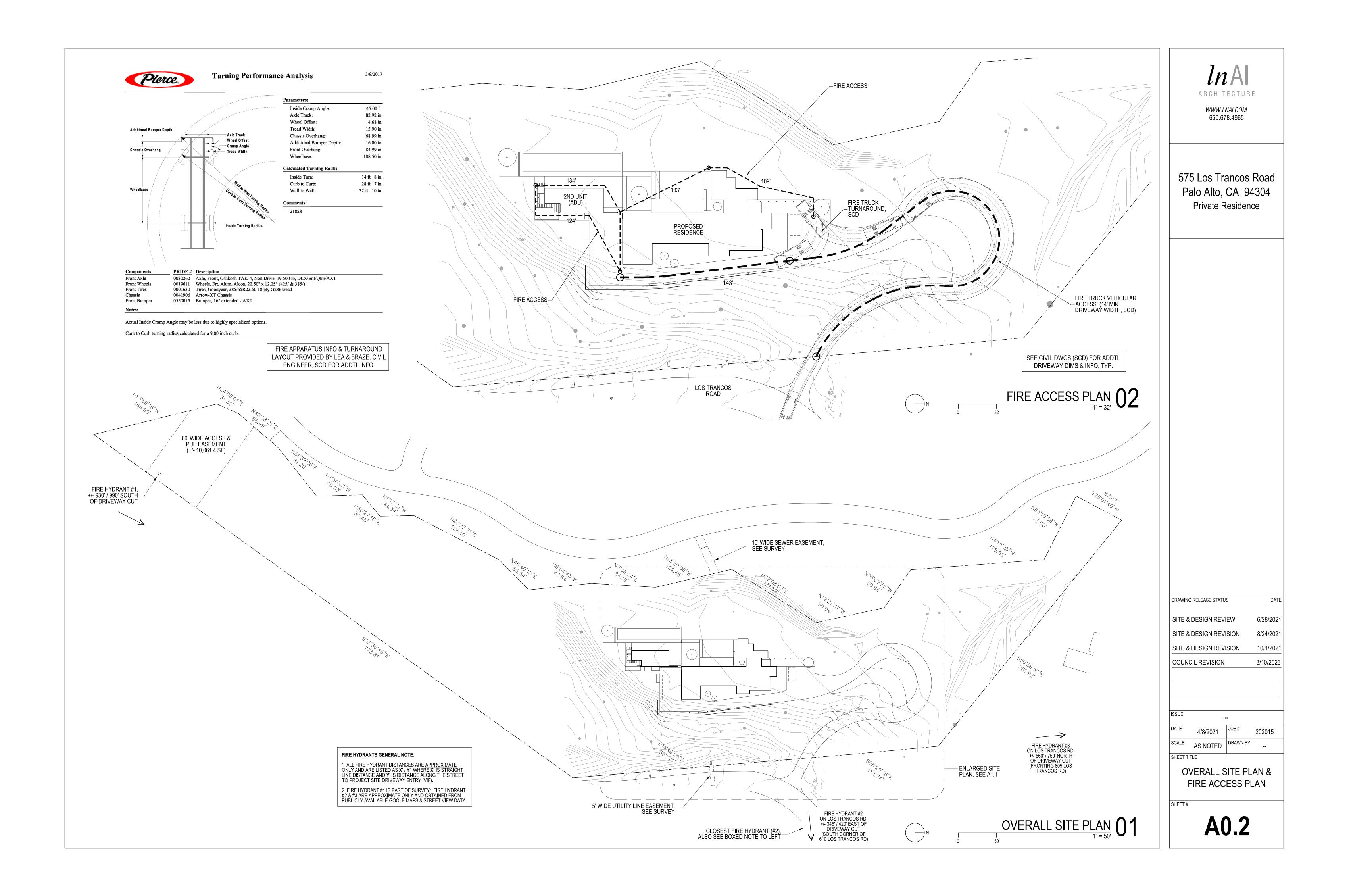
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575 Los Trancos Road

Palo Alto, CA 94304 Private Residence









575 Los Trancos Road Palo Alto, CA 94304 Private Residence

| DRAWING RELEASE STATUS DATE | | | | | | | |
|-----------------------------|--------------|----------|-----------|--|--|--|--|
| | | | | | | | |
| SITE & | DESIGN REVI | EW | 6/28/2021 | | | | |
| SITE & | DESIGN REVI | SION | 8/24/2021 | | | | |
| SITE & | DESIGN REVI | SION | 10/1/2021 | | | | |
| COUNC | CIL REVISION | | 3/10/2023 | | | | |
| | | | | | | | |
| | | | | | | | |
| | | | - | | | | |
| | | | | | | | |
| ISSUE | - | - | | | | | |
| DATE | 4/8/2021 | JOB# | 202015 | | | | |
| SCALE | AS NOTED | DRAWN BY | | | | | |
| SHEET TI | SHEET TITLE | | | | | | |
| CONCEPT | | | | | | | |
| | | | | | | | |
| RENDERING | | | | | | | |
| | | | | | | | |
| SHEET# | | | | | | | |

A0.3

L2 GROSS SUB-AREAS (SF):

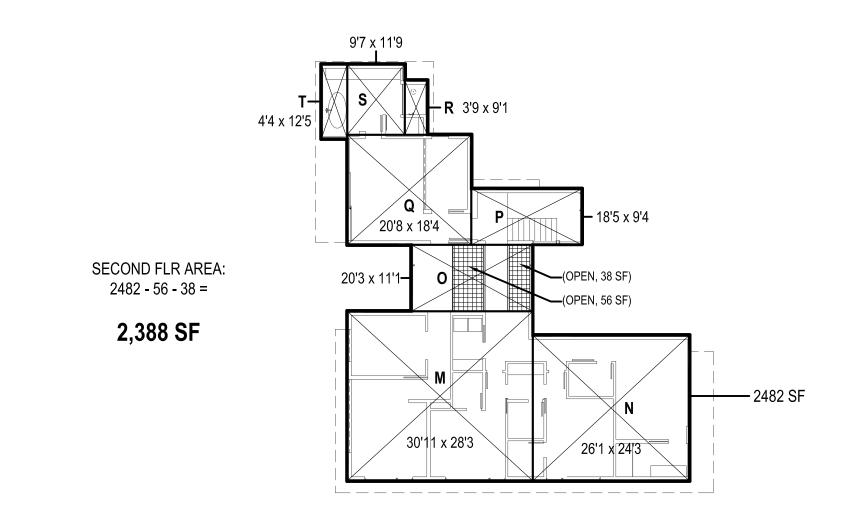
| М | 30'11 X 28'3 | 873.4 |
|-------|--------------|-----------|
| N | 26'1 X 24'3 | 632.5 |
| 0 | 20'3 X 11'1 | 224.4 |
| Р | 18'5 X 9'4 | 171.9 |
| Q | 20'8 X 18'4 | 378.9 |
| R | 3'9 X 9'1 | 34.1 |
| S | 9'7 X 11'9 | 112.6 |
| Т | 4'4 X 12' 5 | 53.8 |
| | | |
| L2 GI | ROSS: | 2481.6 SF |

(LESS FLR OPENINGS - SEE RIGHT)

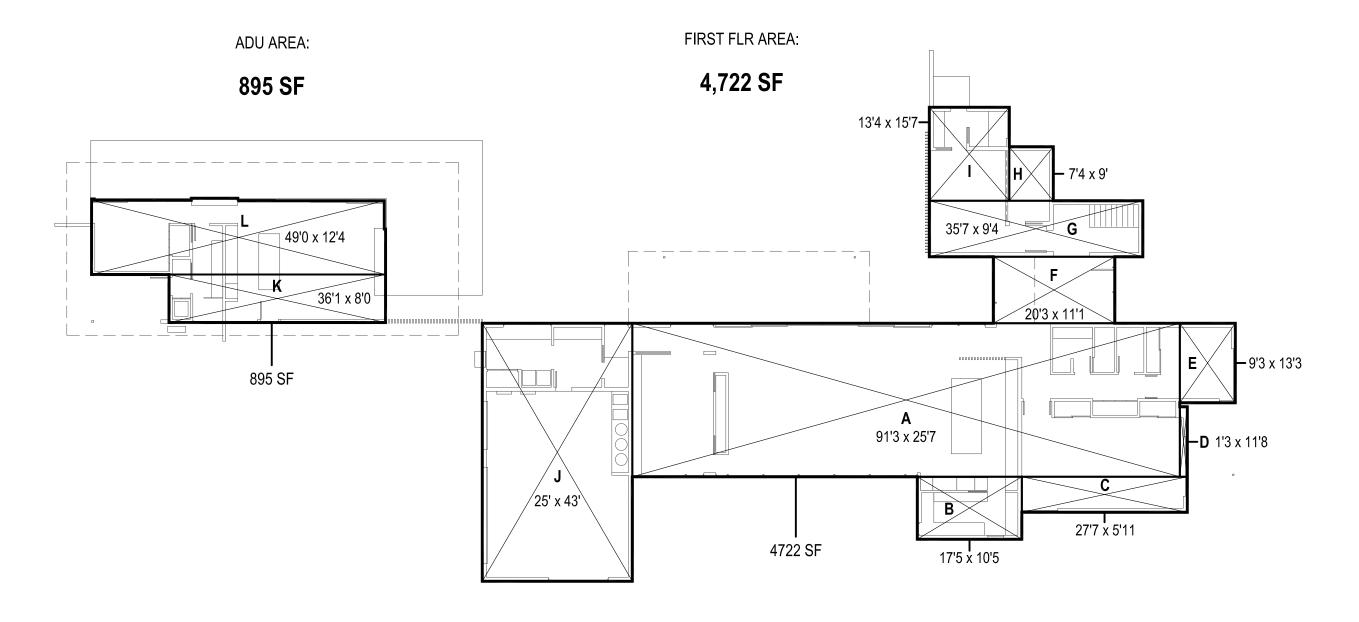
| L1 G | ROSS SUB-AREAS (S | SF): |
|------|-------------------|-----------|
| Α | 91'3 X 25'7 | 2334.5 |
| В | 17'5 X 10'5 | 181.4 |
| С | 27'7 X 5'11 | 163.2 |
| D | 1'3 X 11'8 | 14.6 |
| Е | 9'3 X 13'3 | 122.6 |
| F | 20'3 X 11'1 | 224.4 |
| G | 35'7 X 9'4 | 332.1 |
| Н | 7'4 X 9' | 66 |
| 1 | 13'4 X 15'7 | 207.8 |
| J | 25' X 43' | 1075 |
| L1 G | ROSS: | 4721.6 SF |

ADU GROSS SUB-AREAS (SF):

| ADU | GROSS: | 895 SI |
|-----|-------------|--------|
| L | 49'0 X 12'4 | 606.3 |
| K | 36'1 X 8'0 | 288.7 |



TOTAL FLOOR AREA: 8,005 SF (1ST FLR + 2ND FLR + ADU) = 4722 + 2388 + 895



0 8' 16'

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GENERAL NOTES:

1 ALL DIMENSIONS MEASURED TO F.O. STUD / OUTSIDE OF STUD WALLS.

2 EXT. WALL FINISH ASSEMBLIES HAVE MIN. 1.5" THICKNESS, TYP.

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

DRAWING RELEASE STATUS

DATE

AREA CALCS & DIAGRAM

SHEE

A0.4

FAR / AREA DIAGRAMS 01



575 Los Trancos Road Palo Alto, CA 94304 Private Residence

WD-1, WD-2 & WD-3:
NATURAL DARK-STAINED VERTICAL GRAIN
WOOD/WOOD-CLAD SIDING & SLATS

OAK GROVE / SITE GREENERY:
DARKER TONES OF TRUNKS, SHADOWS &
CANOPIES MIXED W/ DEEP AND MID GREENS



PLAS-1:SMOOTH-FINISH CEMENT PLASTER,WARM EARTH-TONE GRAY

BENJAMIN MOORE HC-105 ROCKPORT GRAY



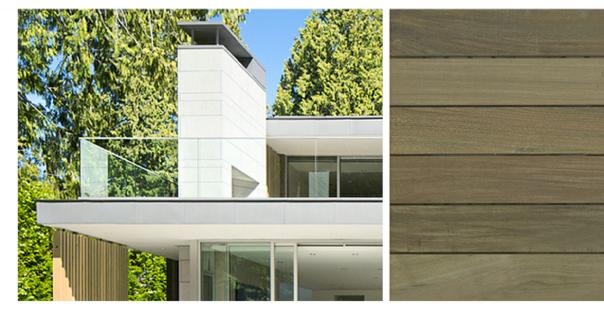
NATURAL DARK-STAINED VERTICAL WOOD SIDING & SLAT SCREENS



BLACKJACK







CLR GLASS GUARDRAILS, DECKING W/ NATURAL WD APPEARANCE

W/ NATURAL WD APPEARANCE INSPIRATION BOARD

SHEET TITLE

DRAWING RELEASE STATUS

SITE & DESIGN REVIEW

SITE & DESIGN REVISION

DATE

6/28/2021

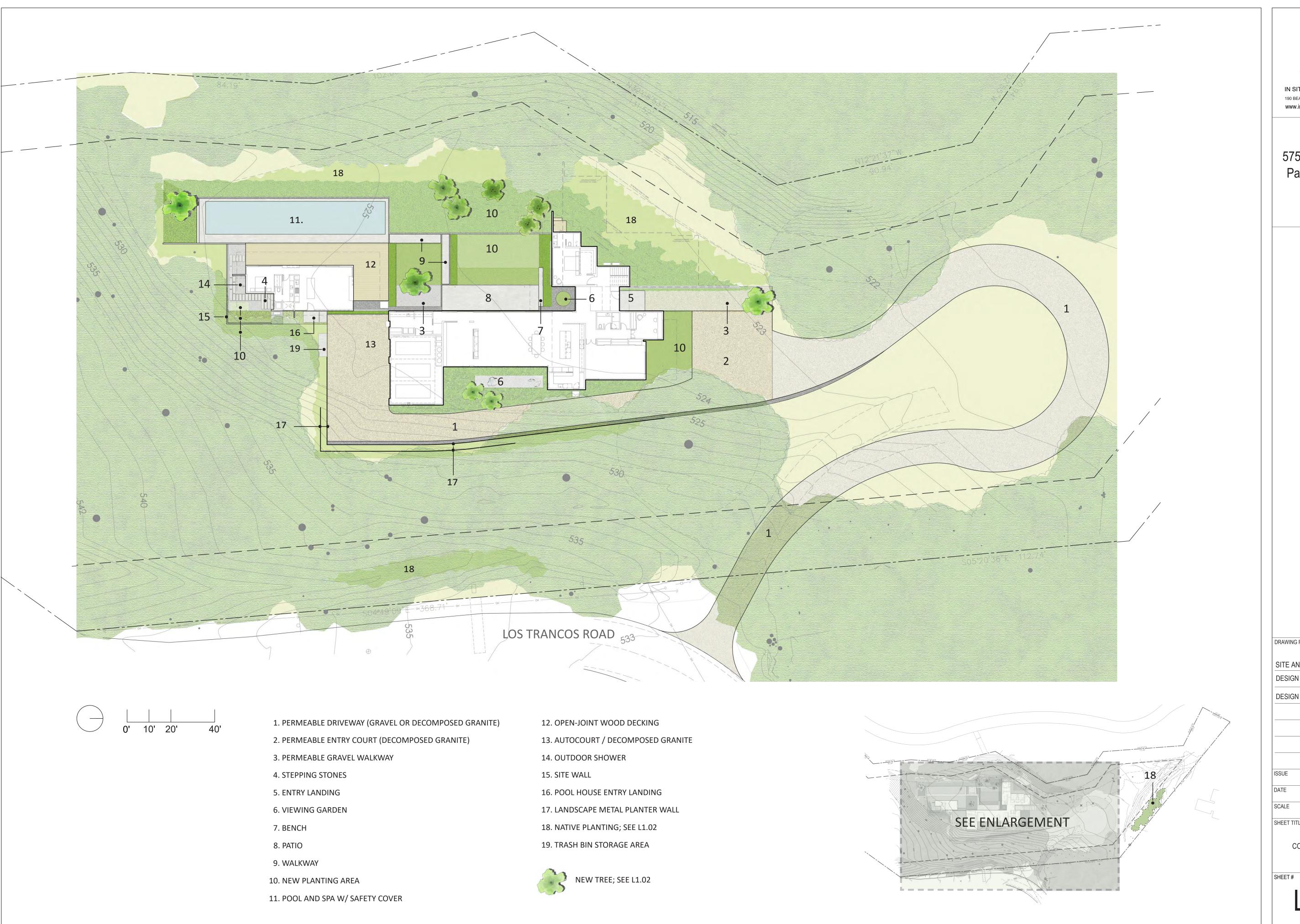
8/24/2021

202015

A0.5

AS NOTED DRAWN BY

MATERIALS &





190 BEAUMONT AVE, SAN FRANCISCO CA 94118 www.insitulandscape.com

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DRAWING RELEASE STATUS SITE AND DESIGN REVIEW 6/28/2021 DESIGN REVIEW RE-SUBMIT 8/24/2021

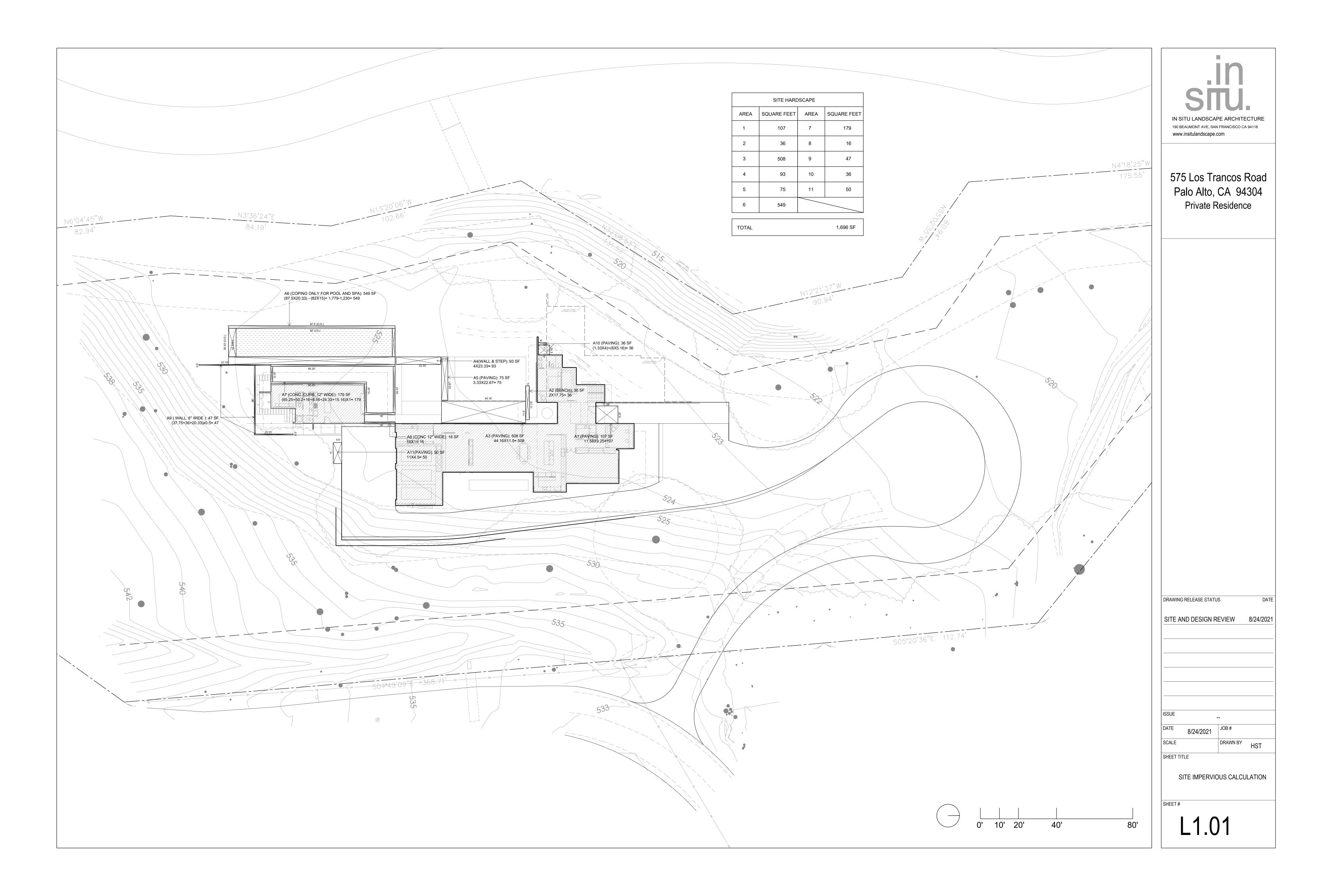
DATE

DESIGN REVIEW RE-SUBMIT 3/08/2023

DRAWN BY HST

CONCEPT LANDSCAPE PLAN

L1.00



















SHRUB





Frangula californica
CALIFORNIA COFFEEBERRY













Rosa Californica CALIFORNIA WILD ROSE

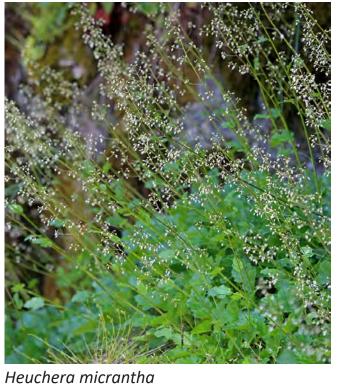
PERENNIAL

Ceanothus Concha CONCHA CALIFORNIA LILAC



MUGWORT









GROUNDCOVER



Fragaria vesca WOODLAND STRAWBERRY

GRASSES

Carex pansa

CALIFORNIA MEADOW SEDGE

COMMON YARROW



Carex praegracilis
CLUSTERED FIELD SEDGE



CREVICE ALUMROOT





Festuca idahoensis Festuca rubra Festuca occidentalis NATIVE MOW-FREE FROM DELTA BLUEGRASS CO.

FERN



Woodwardia fimbriata GIANT CHAIN FERN

#10 NEW PLANTING AREA

- SEE REPRESENTATIVE PLANTING SPECIES AND IMAGES - NATIVE PLANTS ARE BASED ON CALIFORNIA NATIVE PLANT SOCIETY / CALSCAPE / WWW.CALSCAPE.ORG

| #18 NATIVE | PLANTING |
|------------|---|
| REPRESENT | ATIVE CALIFORNIA NATIVE SPECIES |
| | Ceanothus Concha / CONCHA CALIFORNIA LILAC |
| | Frangula californica / CALIFORNIA COFFEE BERR |
| | Heteromeles arbutifolia / TOYON |
| | Quercus wislizeni / INTERIOR LIVE OAK |
| | Sambucus mexicana / BLUE ELDERBERRY |
| CREEK SIDE | PLANTING |
| REPRESENT | ATIVE CALIFORNIA NATIVE SPECIES |
| | Acer macrophyllum / BIGLEAF MAPLE |
| | Artemisia douglasiana / MUGWORT |
| | Rosa Californica / CALIFORNIA WILD ROSE |
| | Salix lasiolepis / ARROYO WILLOW |
| | Umbellularia californica / CALIFORNIA BAY |

| DRAWING RELEASE STATI | JS | DAT |
|-------------------------------|----------|----------|
| DESIGN REVIEW RE | -SUBMIT | 8/24/202 |
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| | | |
| SSUE | | |
| OATE 8/24/2021 | JOB# | 202015 |
| SCALE | DRAWN BY | HST |
| SHEET TITLE | | |
| REPRESENTATI AND PLANT IMA | | IST |

IN SITU LANDSCAPE ARCHITECTURE 190 BEAUMONT AVE, SAN FRANCISCO CA 94118

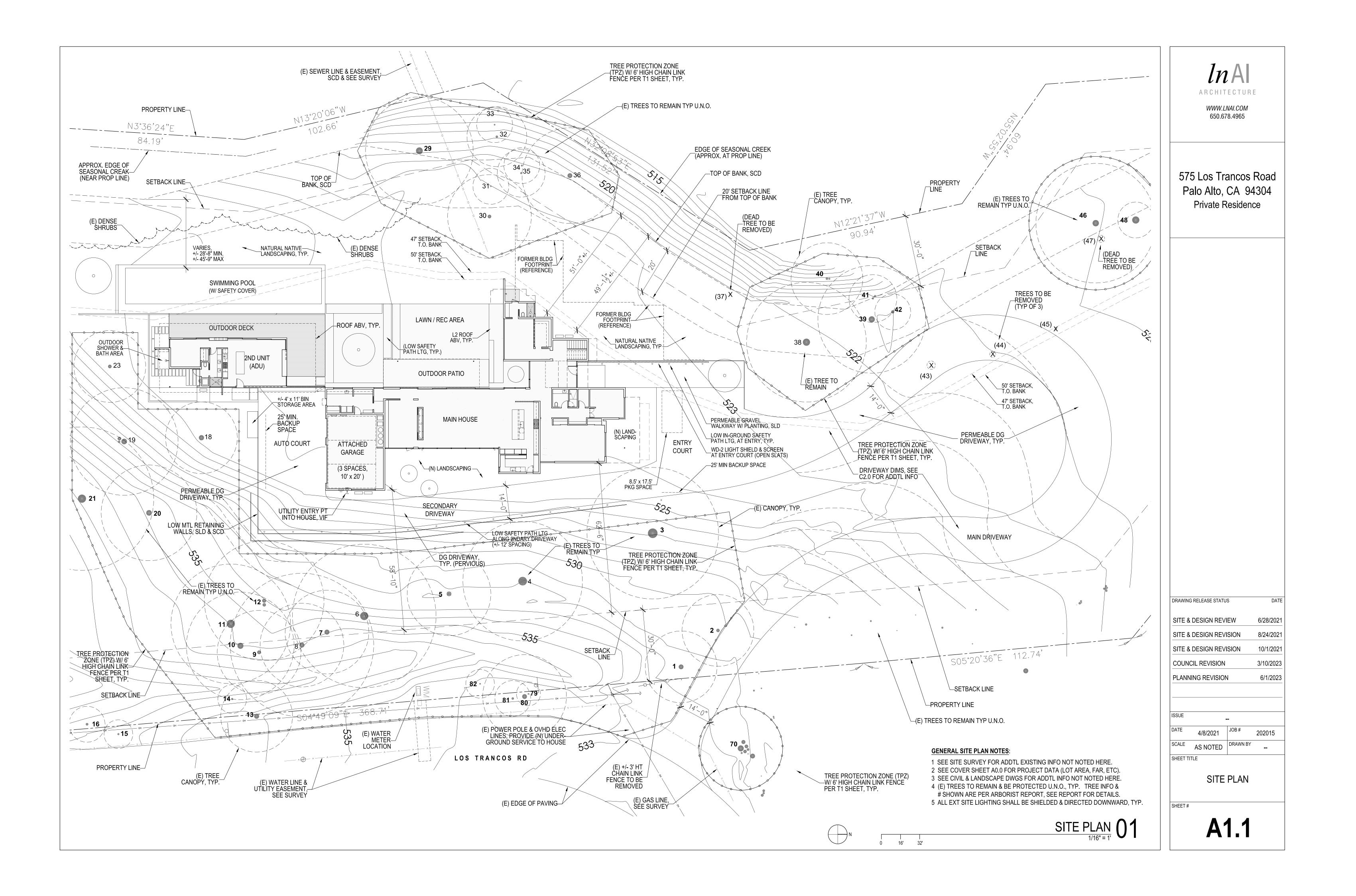
575 Los Trancos Road

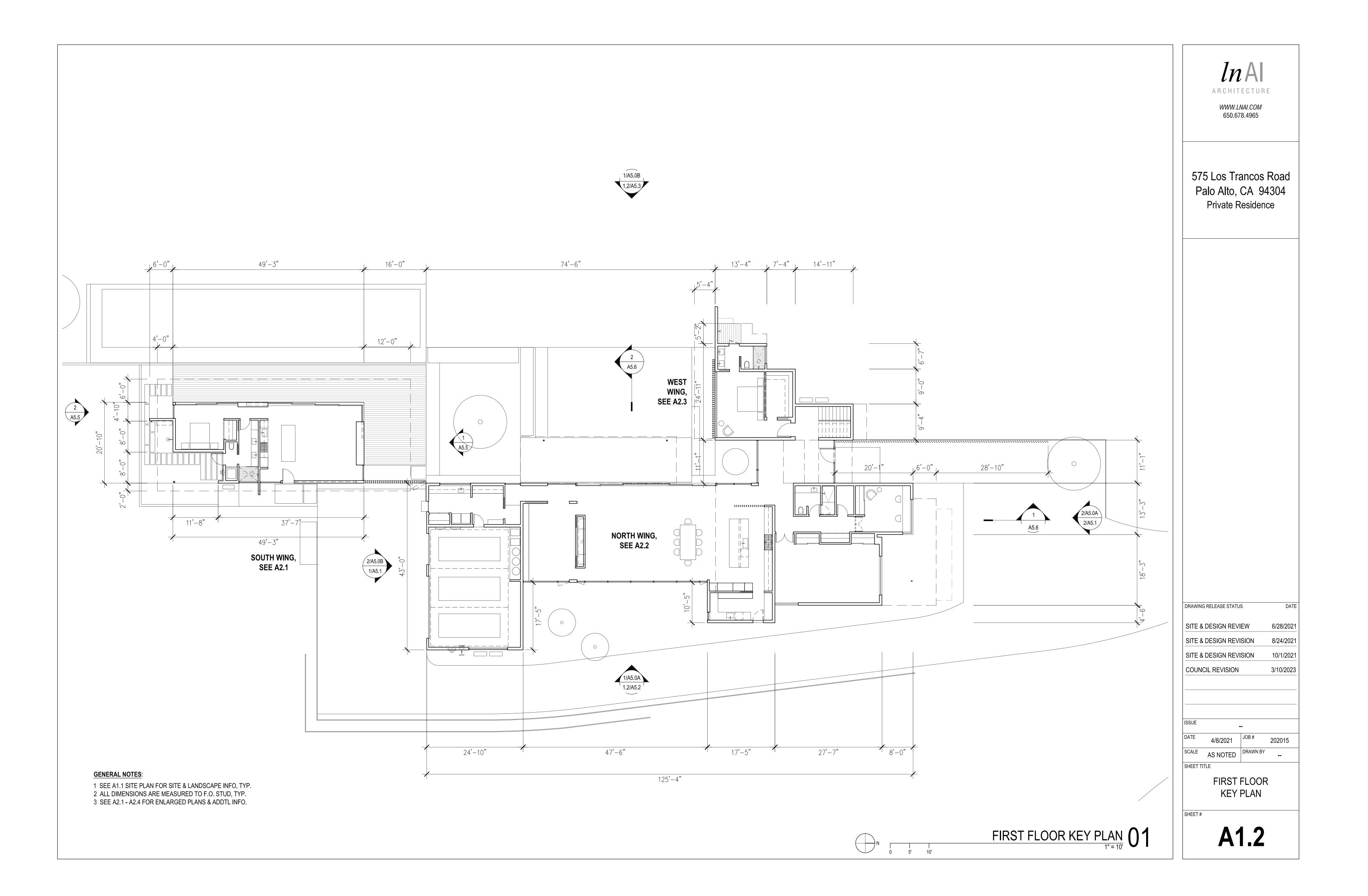
Palo Alto, CA 94304

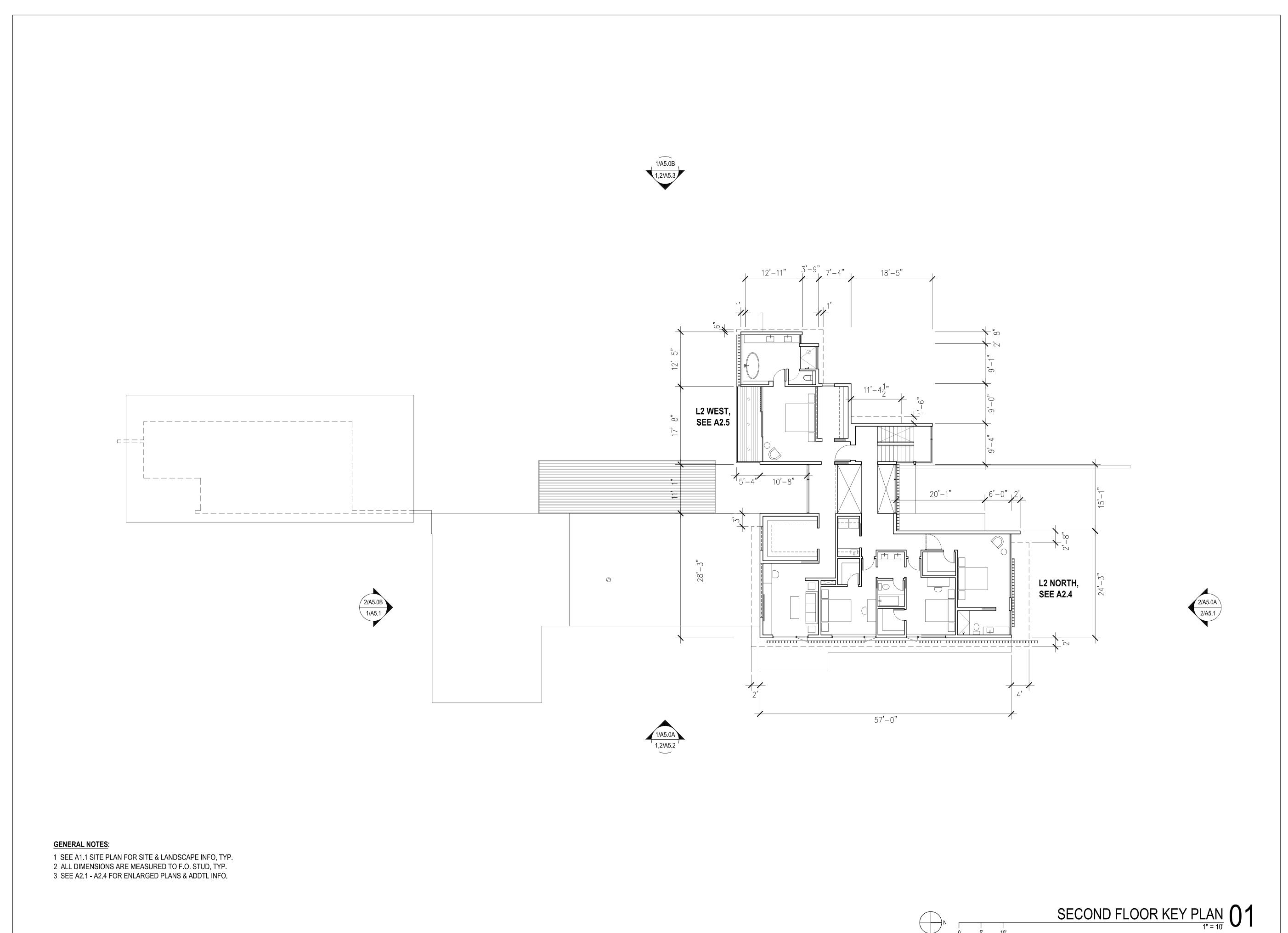
Private Residence

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L1.02







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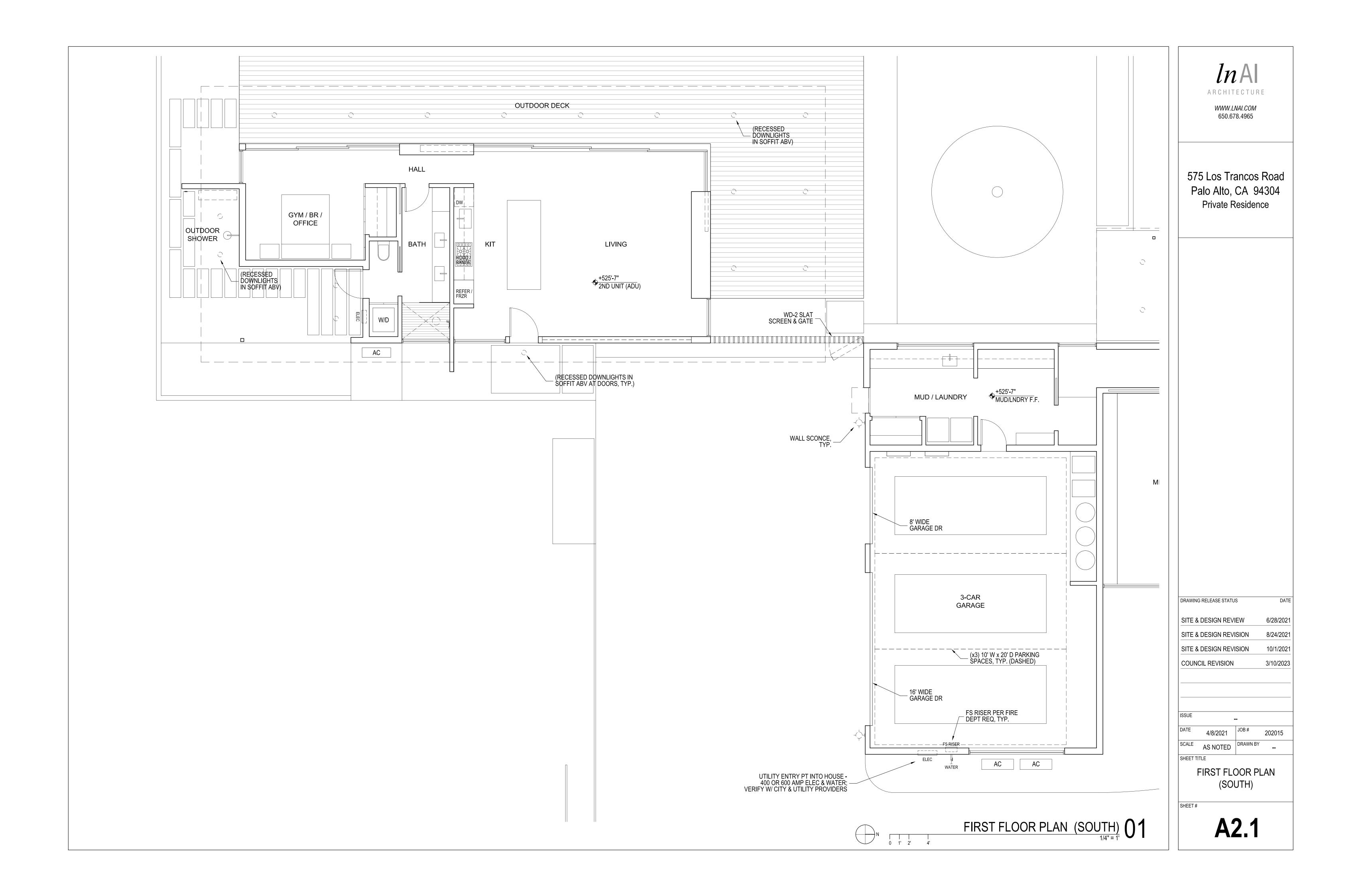
DRAWING RELEASE STATUS SITE & DESIGN REVIEW 6/28/2021 SITE & DESIGN REVISION 8/24/2021 SITE & DESIGN REVISION 10/1/2021 COUNCIL REVISION 3/10/2023

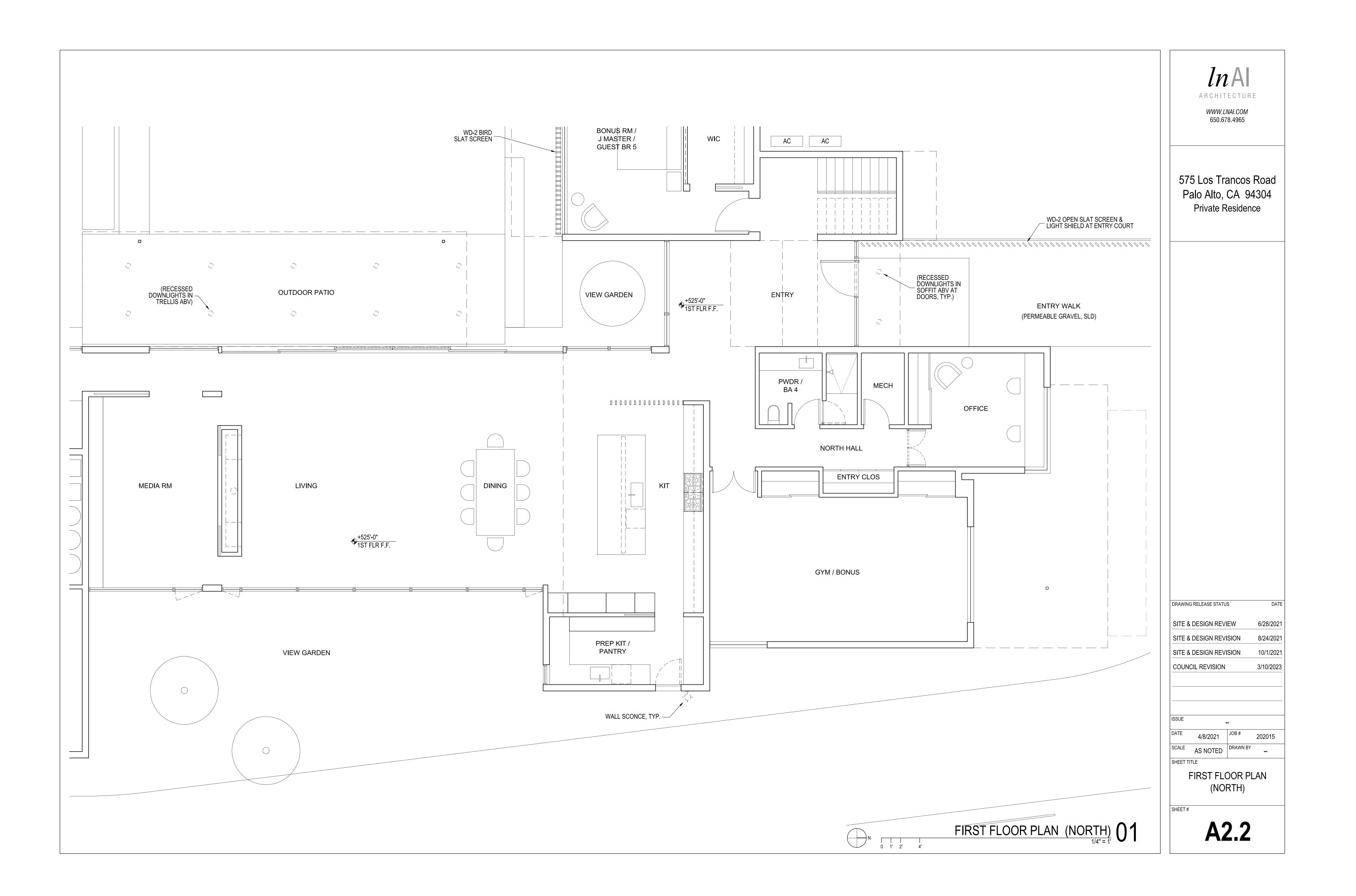
DATE

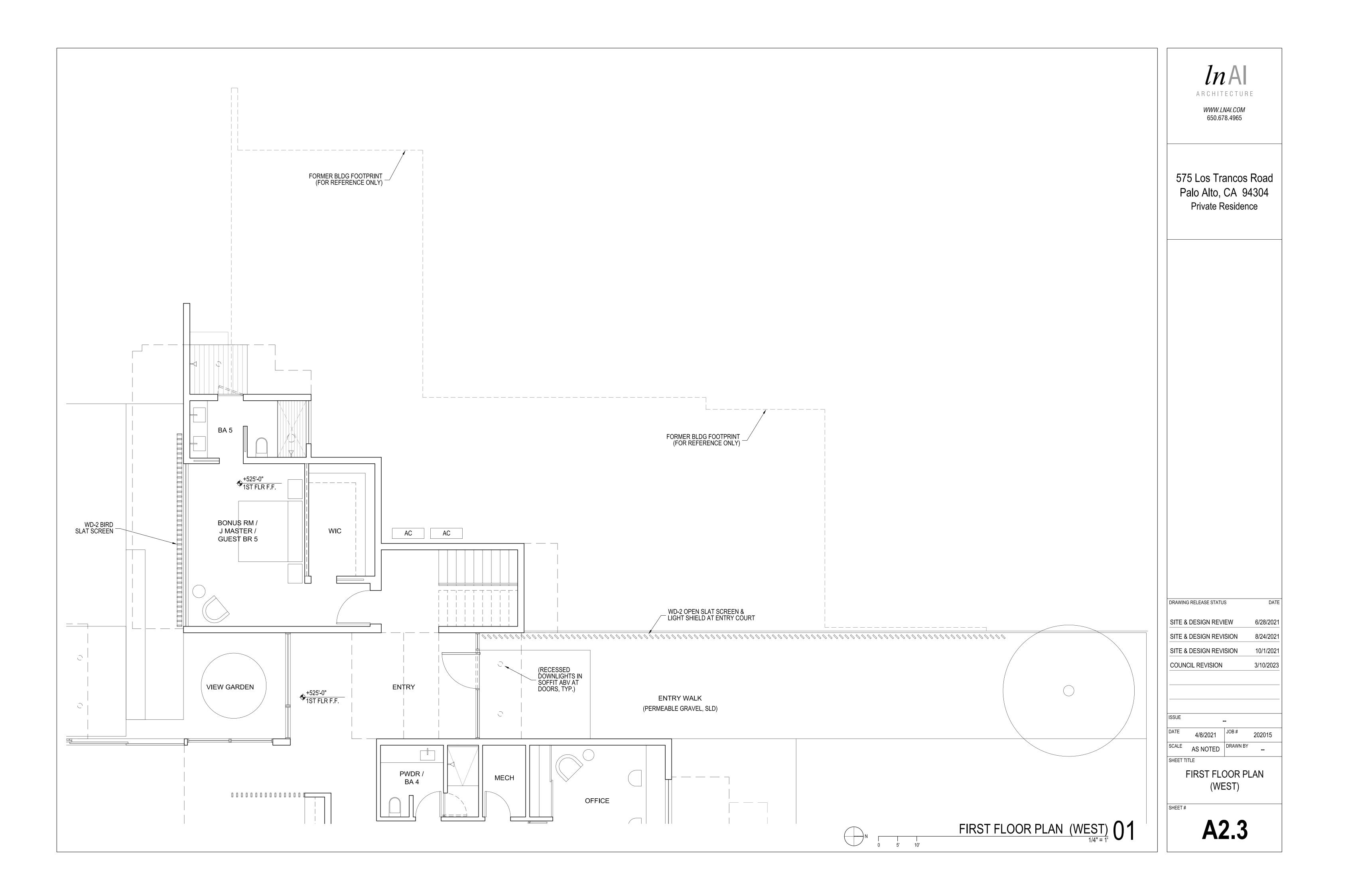
202015 AS NOTED DRAWN BY --SHEET TITLE

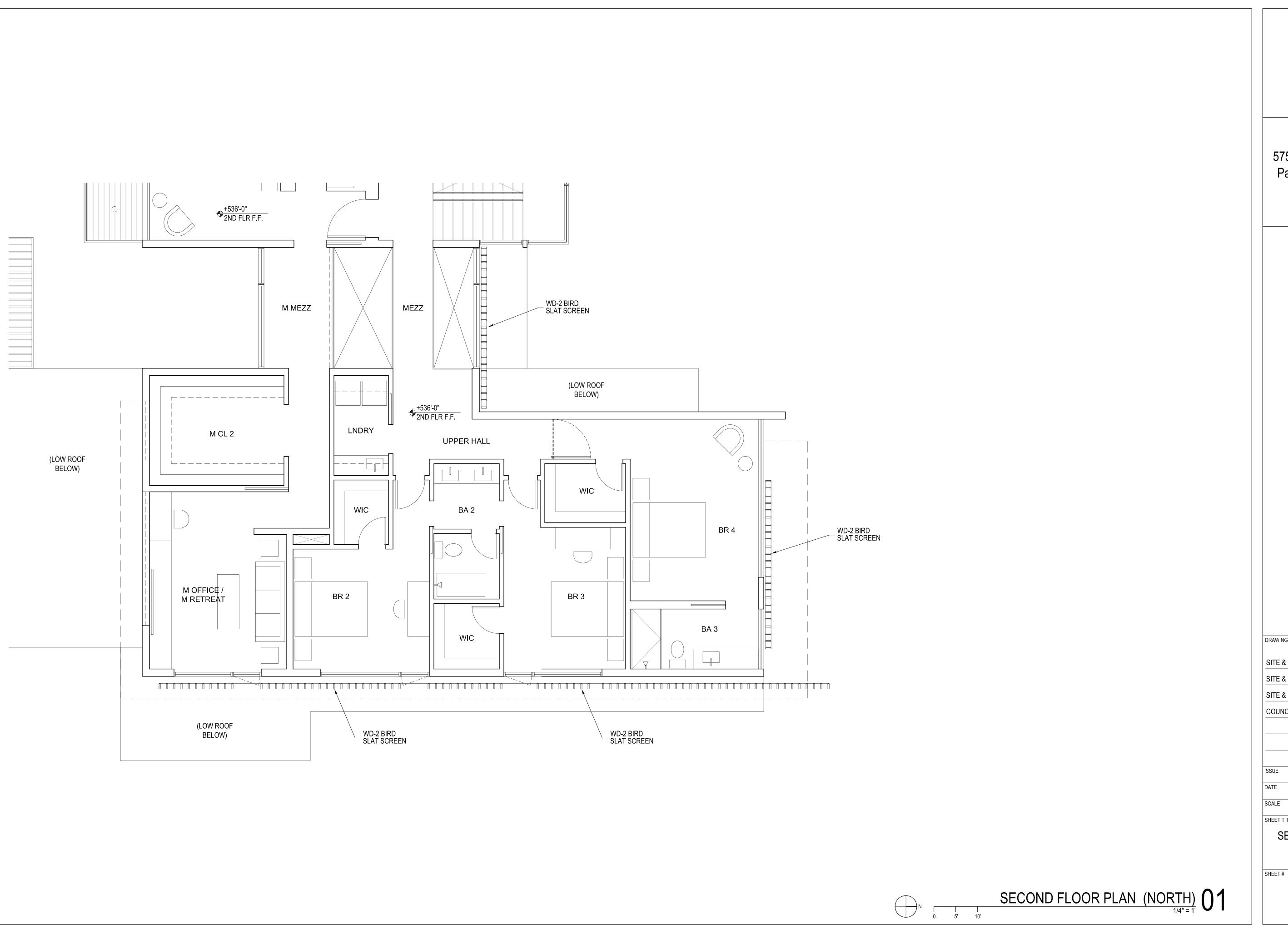
2ND FLOOR **KEY PLAN**

A1.3









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DRAWING RELEASE STATUS

SITE & DESIGN REVIEW

SITE & DESIGN REVISION

SITE & DESIGN REVISION

SITE & DESIGN REVISION

COUNCIL REVISION

SYMPTON STATE

DATE

4/8/2021

SCALE

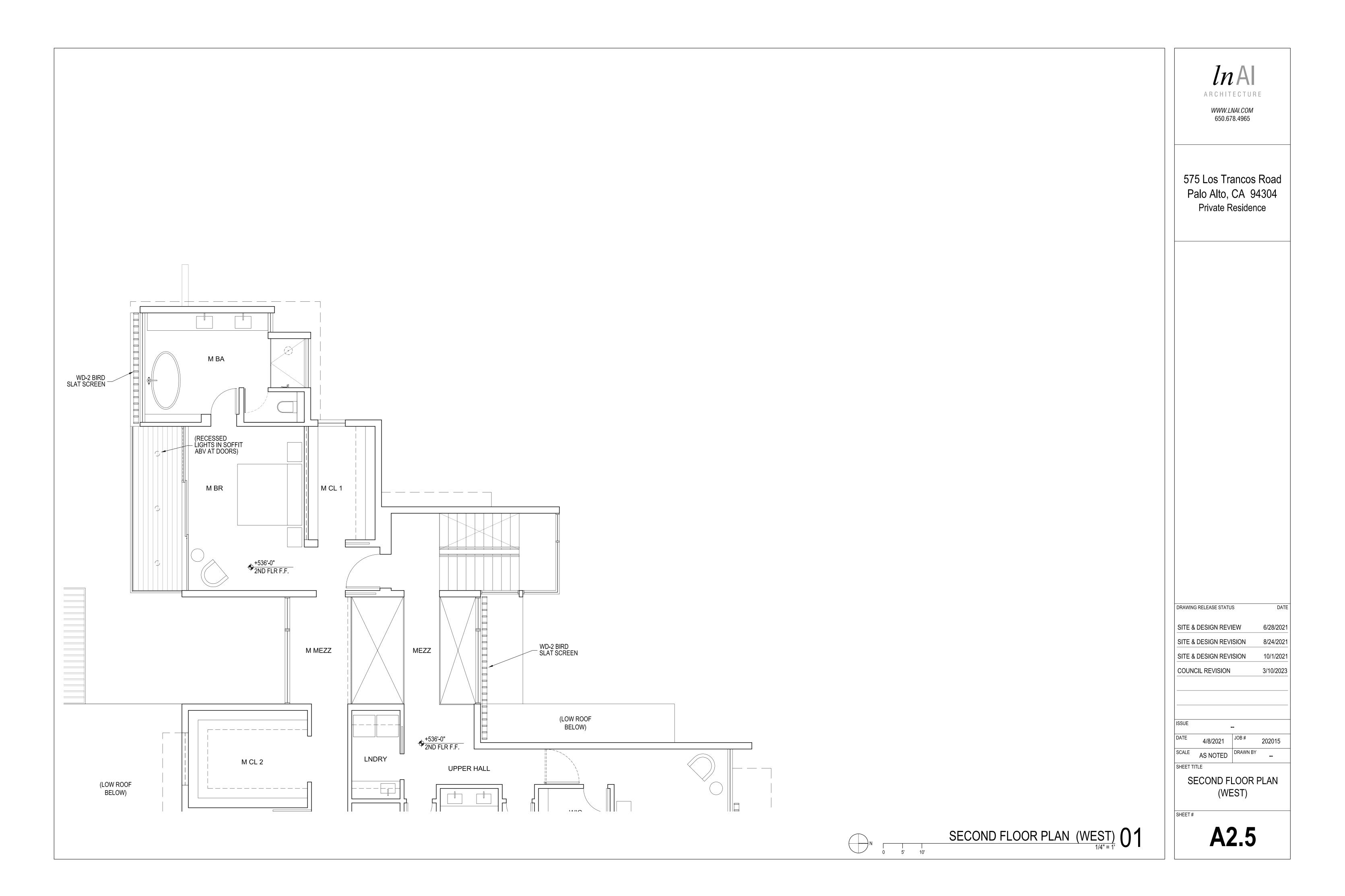
AS NOTED

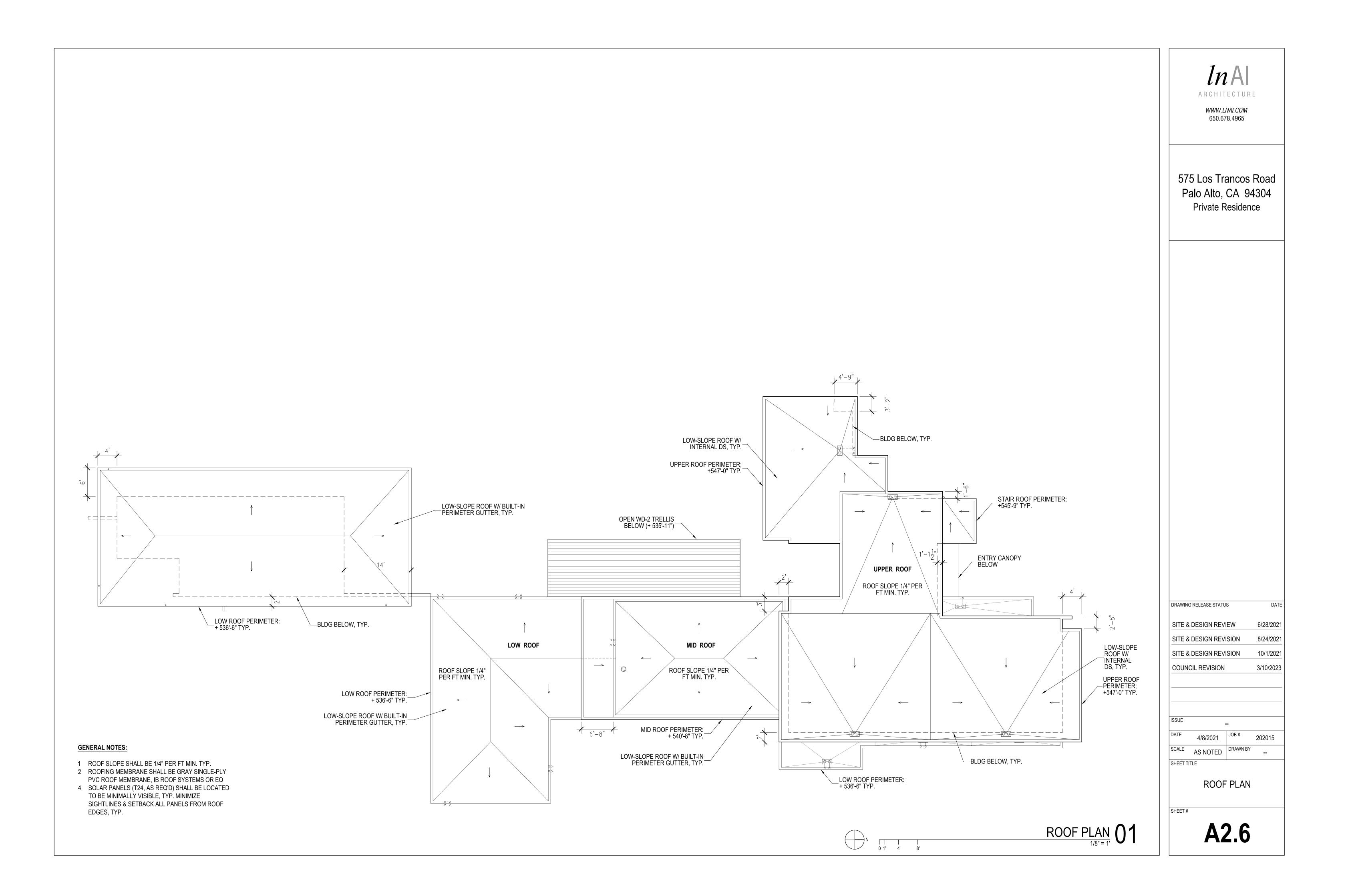
DRAWN BY

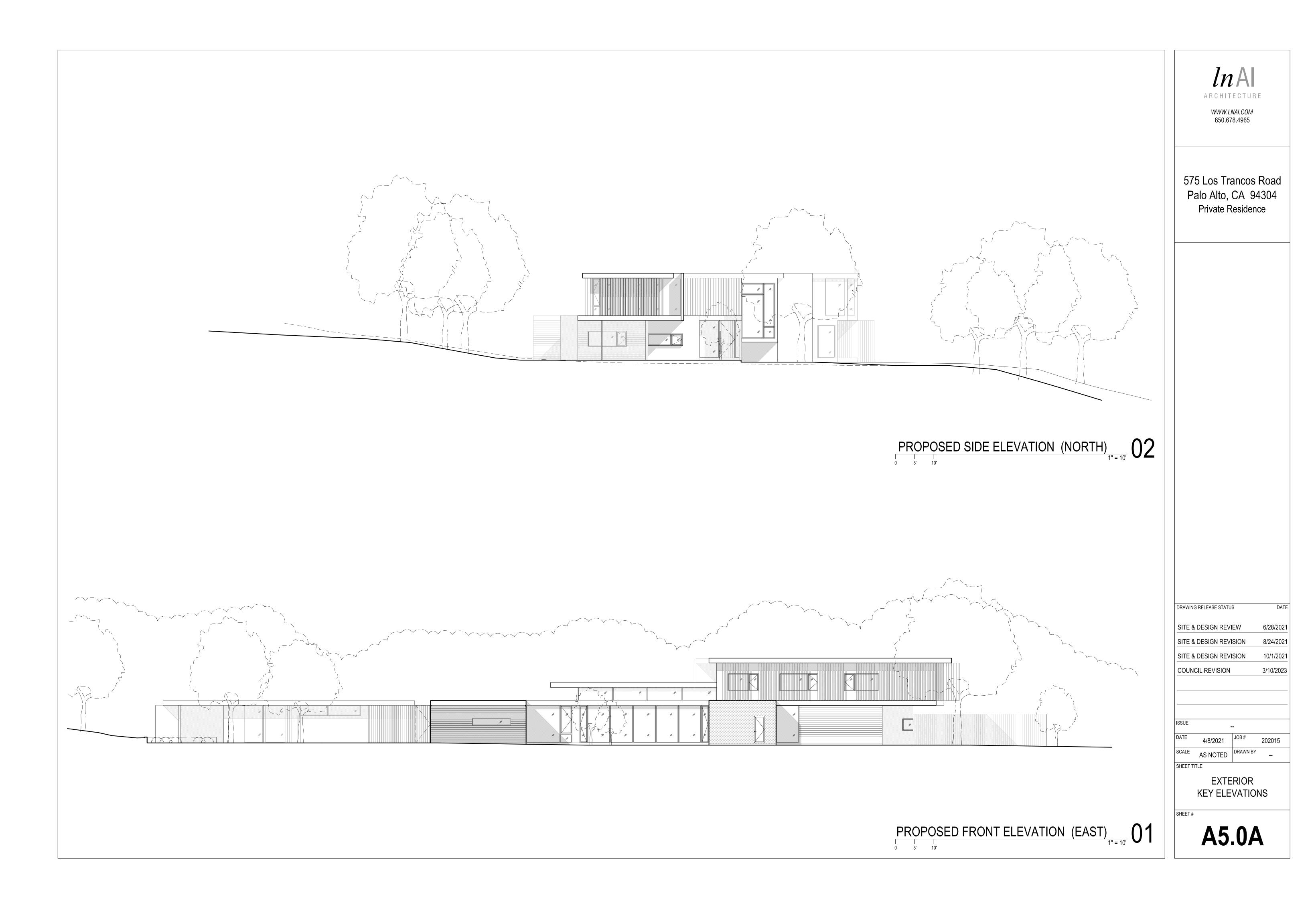
SHEET TITLE

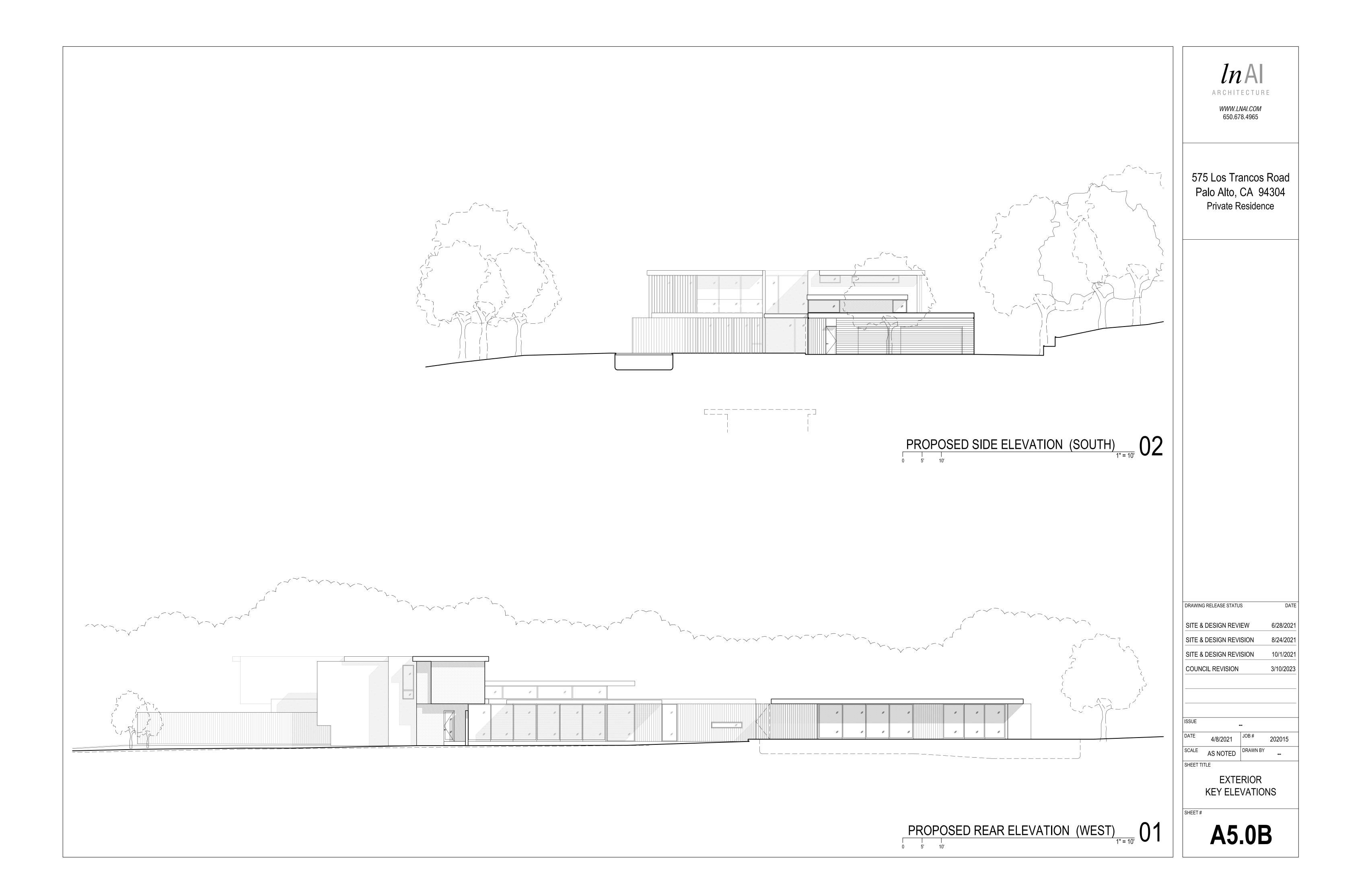
SECOND FLOOR PLAN
(NORTH)

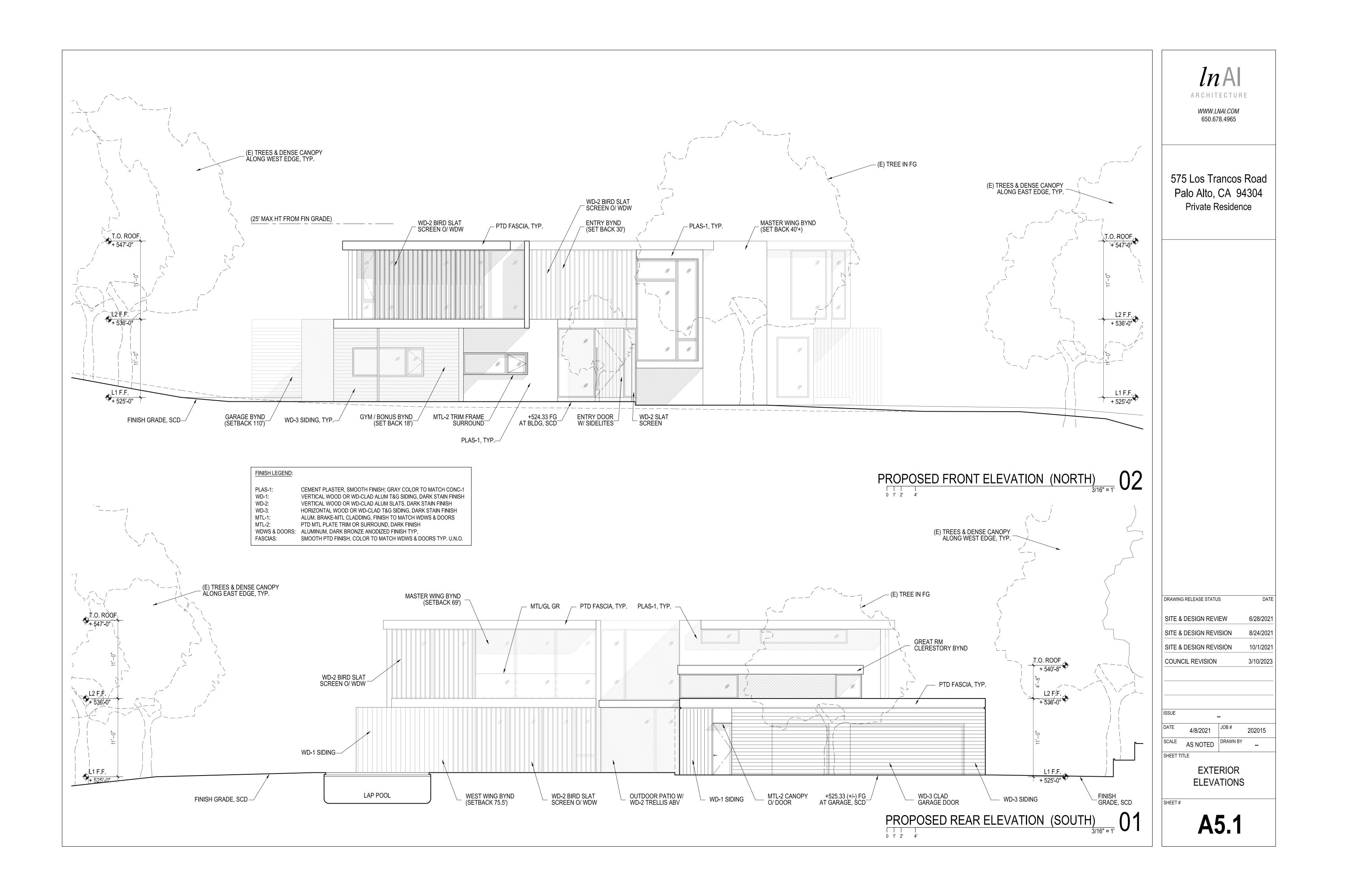
A2.4

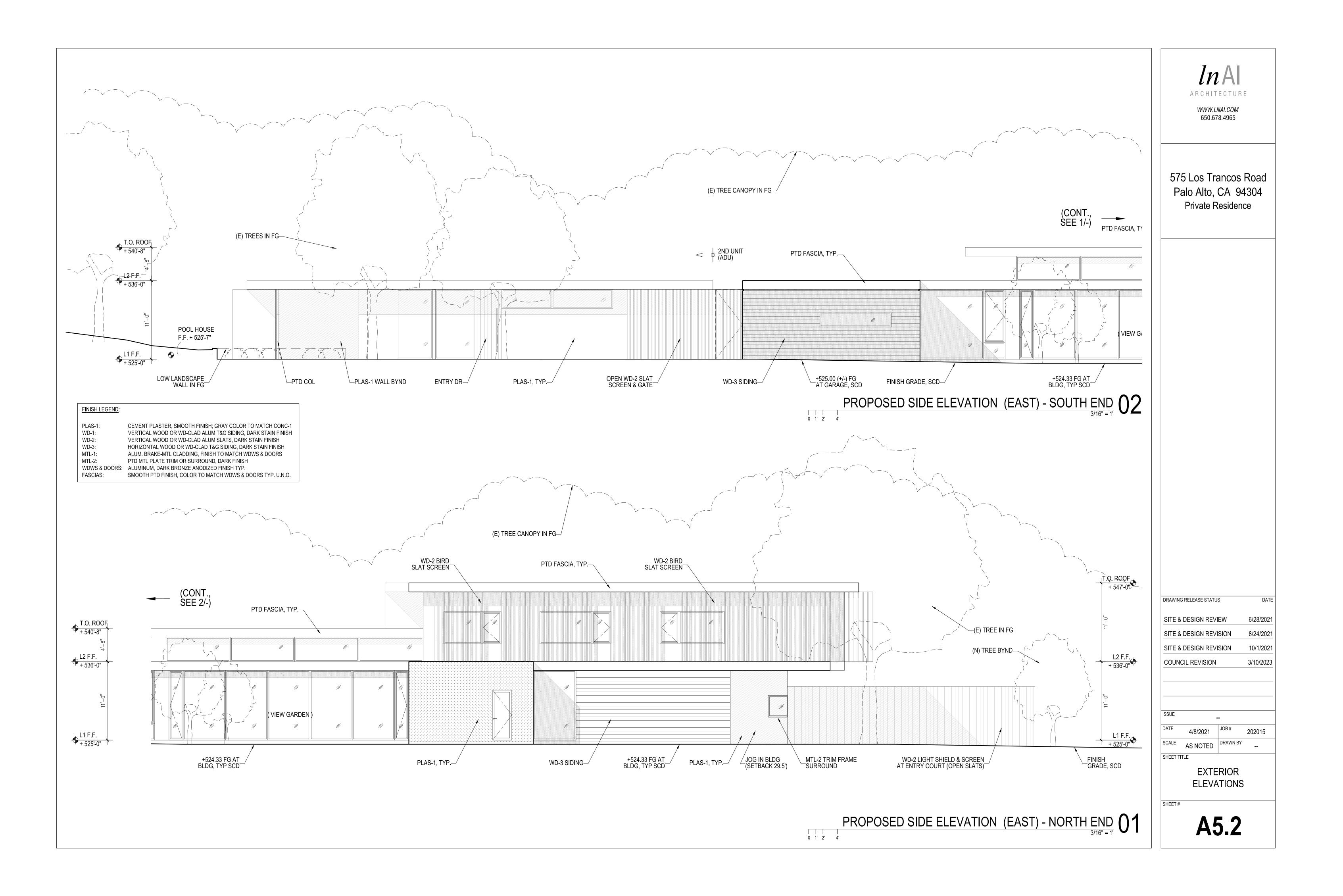


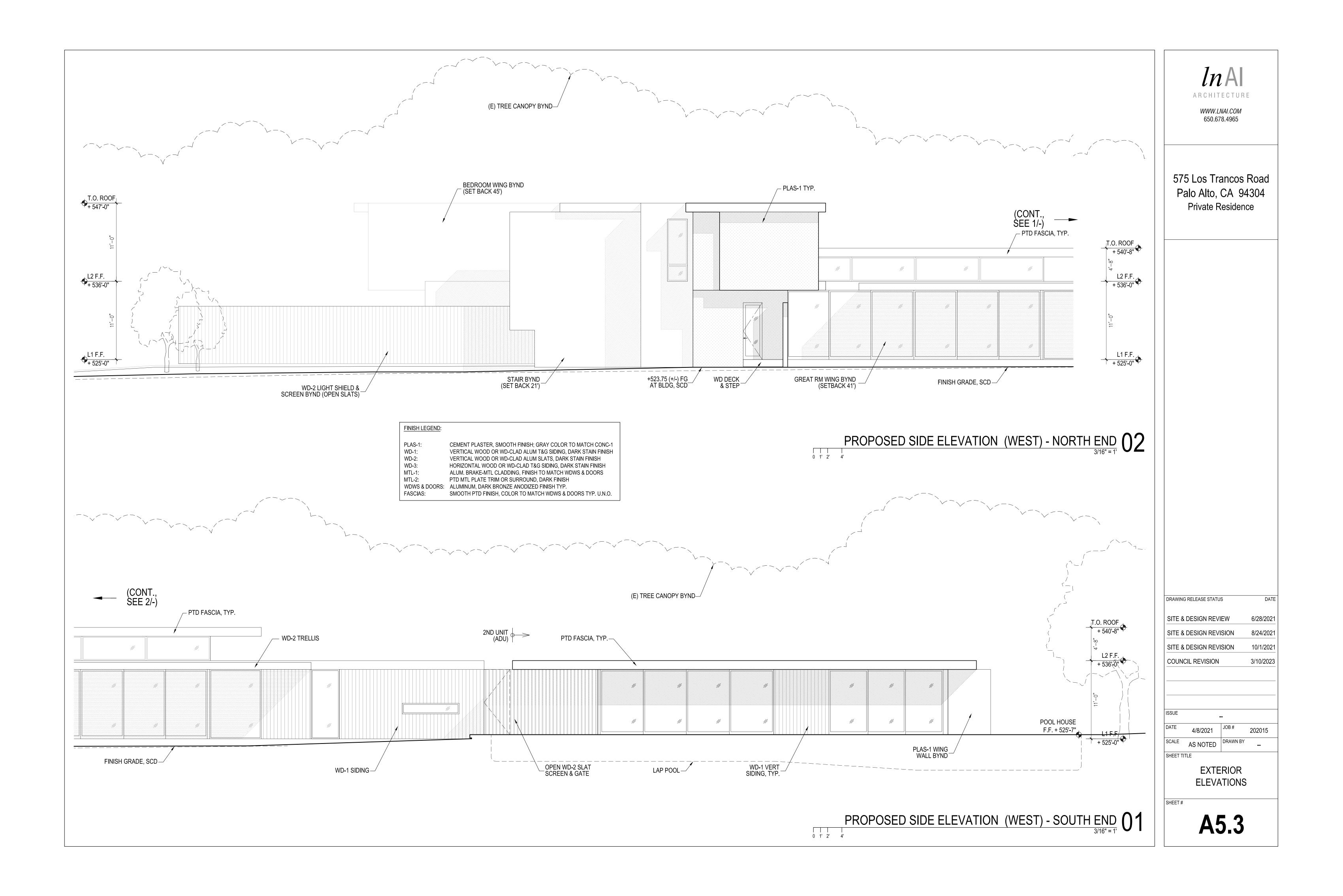






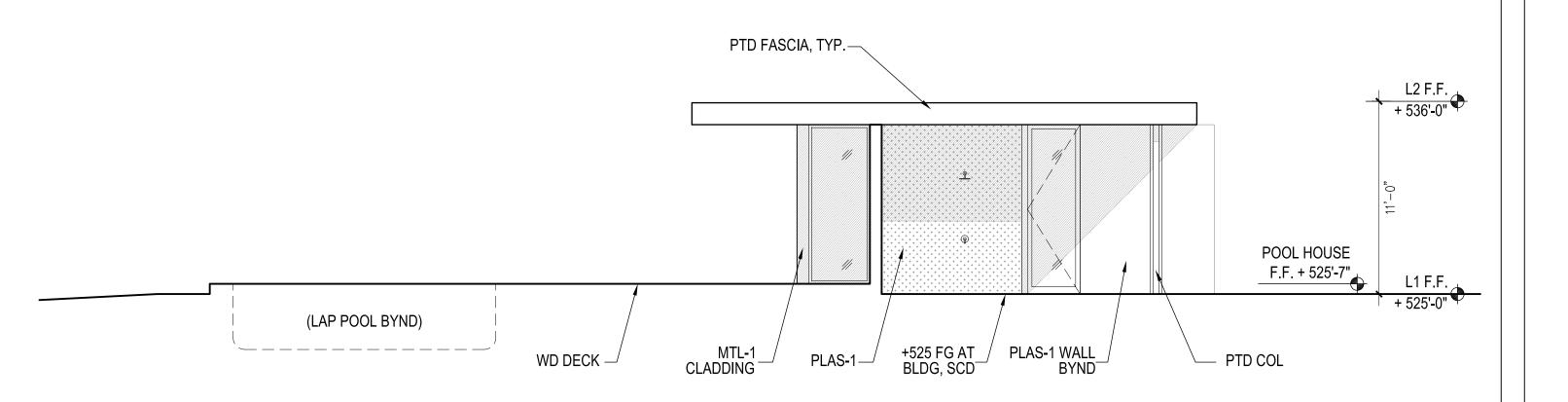






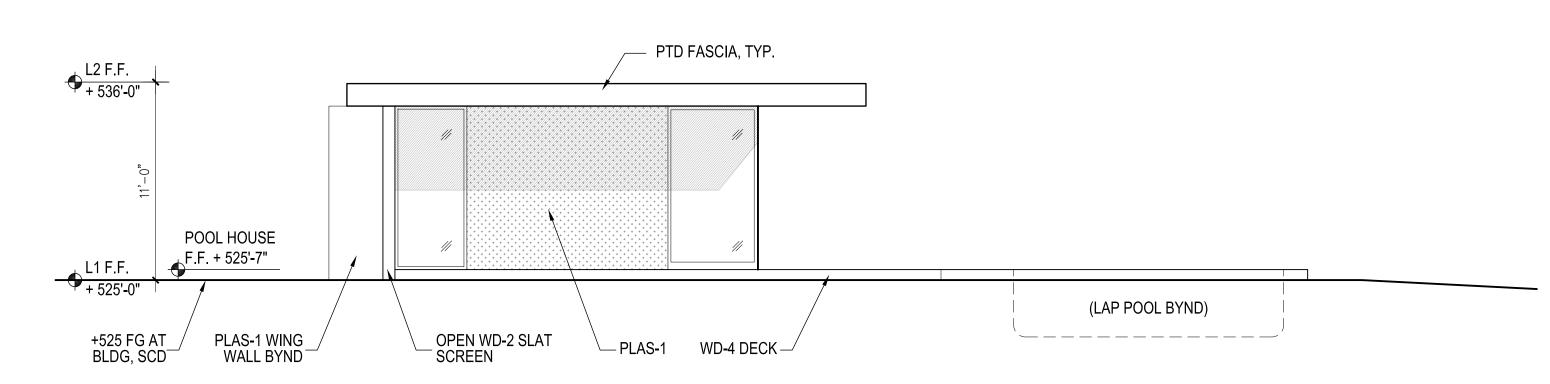


575 Los Trancos Road Palo Alto, CA 94304 Private Residence



2ND UNIT (ADU) - PROPOSED SOUTH ELEVATION $\frac{3}{16}$ $\frac{1}{2}$

PLAS-1: CEMENT PLASTER, SMOOTH FINISH; GRAY COLOR TO MATCH CONC-1 WD-1: VERTICAL WOOD OR WD-CLAD ALUM T&G SIDING, DARK STAIN FINISH WD-2: VERTICAL WOOD OR WD-CLAD ALUM SLATS, DARK STAIN FINISH WD-3: HORIZONTAL WOOD OR WD-CLAD T&G SIDING, DARK STAIN FINISH MTL-1: ALUM. BRAKE-MTL CLADDING, FINISH TO MATCH WDWS & DOORS MTL-2: PTD MTL PLATE TRIM OR SURROUND, DARK FINISH WDWS & DOORS: ALUMINUM, DARK BRONZE ANODIZED FINISH TYP. FASCIAS: SMOOTH PTD FINISH, COLOR TO MATCH WDWS & DOORS TYP. U.N.O.



2ND UNIT (ADU) - PROPOSED NORTH ELEVATION 1/3/16" = 1'

| DRAWING | G RELEASE STATU | IS | DAT |
|-------------------|----------------------------|----------------|----------|
| SITE & | DESIGN REV | IEW | 6/28/202 |
| SITE & | DESIGN REV | ISION | 8/24/202 |
| SITE & | DESIGN REV | ISION | 10/1/202 |
| COUN | CIL REVISION | | 3/10/202 |
| | | | |
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| | | | |
| ISSUE | | | |
| DATE | 4/8/2021 | JOB# | 202015 |
| DATE | 4/0/2021 | | 202013 |
| SCALE | AS NOTED | DRAWN BY | |
| | AS NOTED | DRAWN BY | <u></u> |
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A5.5

