

ABBREVIATIONS

ABV. ABOVE	FLR FLOOR	PERP PERPENDICULAR
A.F.F. ABOVE FINISH FLOOR	F.O. FACE OF	P.L. PROPERTY LINE
ADDTL. ADDITIONAL	FOF FACE OF FINISH	P.LAM PLASTIC LAMINATE
ADJ. ADJACENT	FOS FACE OF STUD	PLAS. PLASTER
ALT. ALTERNATE	FP FIREPLACE	PLYWD. PLYWOOD
ALUM. ALUMINUM	FS FIRE SPRINKLER	PNT PAINT
APPROX APPROXIMATE	F.S. FINISH SURFACE	PREFAB PRE-FABRICATED
ARCH. ARCHITECTURAL	FTG. FOOTING	P.T. PRESSURE-TREATED
ARCHITECT ARCHITECT	GA. GAUGE	PT POINT
ATTN. ATTENTION	GALV. GALVANIZED	PTD. PAINTED
BD BOARD	GC GENERAL	QTY. QUANTITY
BDRM. BEDROOM	CONTRACTOR CONTRACTOR	REF. REFERENCE
BLDG. BUILDING	GEN GENERAL	REFER REFRIGERATOR
BLK. BLOCK	GL. GLASS	REINF. REINFORCING
BLKG. BLOCKING	GLB. GLUE LAMINATED	REQ REQUIREMENTS
B.O. BOTTOM OF	GSM. GALVANIZED	REQD. REQUIRED
BR BEDROOM	SHEET METAL SHEET METAL	RET RETAINING
B/S BACKSPLASH	GR GUARDRAIL	RM ROOM
BTWN. BETWEEN	GWB GYPSUM WALL BOARD	SAF SELF-ADHESIVE FLASHING
BYND BEYOND	H.D.GALV. HOT DIPPED	SASM SELF-ADHESIVE SHEET MEMBRANE FLASHING
C.T. CERAMIC TILE	GALVANIZED GALVANIZED	SCD SEE CIVIL DRAWINGS
CAB CABINET	H.M. HOLLOW METAL	SE STRUC. ENGINEER
CALCS. CALCULATIONS	H.P. HIGH POINT	SLD SEE LANDSCAPE DWGS
CEM. CEMENT	HDWR HARDWARE	SMD SEE MECHANICAL DWGS
CL CENTER LINE	HORIZ. HORIZONTAL	SSD SEE STRUCTURAL DWGS
CLG CEILING	HR HANDRAIL	SIM. SIMILAR
CLOS CLOSET	HT HEIGHT	SPECS. SPECIFICATIONS
CLR CLEAR	HW HARDWOOD	SPF SPRAY POLYURETHANE FOAM
CMU CONCRETE MASONRY UNIT	I.D. INSIDE DIMENSION	SQ. SQUARE
COL COLUMN	IGU INSULATED GLAZING UNIT	S.S. STAINLESS STEEL
CONC. CONCRETE	INFO INFORMATION	STD. STANDARD
CONT. CONTINUOUS	INSTRUC. INSTRUCTIONS	STL STEEL
COORD COORDINATE	INSUL. INSULATION	STRUC. STRUCTURE, STRUCTURAL
CP CENTER POINT	INSULATED INSULATED	SUSP. SUSPENDED
CPT CARPET	INT. INTERIOR	T & B TOP & BOTTOM
CS COUNTERSUNK	JT. JOINT	T & G TONGUE & GROOVE
CTYD COURTYARD	LA LANDSCAPE	TB THERMALLY-BROKEN
D DRYER	LF LIGHT FIXTURE	TEL TELEPHONE
DBA DARK BRONZE	LL LOWER LEVEL	TF TRANSPARENT FINISH
ANODIZED ANODIZED	L.P. LOW POINT	TOH TOWN OF HILLSBOROUGH
DR DOOR	LTG LIGHTING	T.O. TOP OF
DS DOWNSPOUT	M. MASTER	T.O.S. TOP OF SLAB
DEMO DEMOLITION	MAX. MAXIMUM	T.O.W. TOP OF WALL
DIA. DIAMETER	MC MEDICINE CAB	TYP. TYPICAL
DIM. DIMENSION	MECH. MECHANICAL	UC UNDER COUNTER
DN DOWN	MEP MECHANICAL, ELECTRICAL & PLUMBING	UL UPPER LEVEL
DW DISHWASHER	MFR. MANUFACTURER	U.N.O. UNLESS NOTED OTHERWISE
DWGS. DRAWINGS	MIN. MINIMUM	VIF VERIFY IN FIELD
(E) EXISTING	ML MAIN LEVEL	VEF VERIFY
E.J. EXPANSION JOINT	MTD MOUNTED	VENT. VENTILATION
EA. EACH	MTL METAL	VERT. VERTICAL
ELEV. ELEVATION	(N) NEW	W/ WITH
ENG. ENGINEER	N.I.C. NOT IN CONTRACT	W/O WITHOUT
ENGINEERED (N) NEW	N/A NOT AVAILABLE	WC WATER CLOSET
EQ EQUAL	NTS NOT TO SCALE	WD WOOD
EQPT EQUIPMENT	O OWNER	WDW WINDOW
EXP. EXPANSION	O/ OVER	W.O. WHERE OCCURS
EXT. EXTERIOR	O.C. ON CENTER	WP WATERPROOFING
FC FAN COIL UNIT	O.D. OUTSIDE DIMENSION	WRB WATER-RESISTIVE BARRIER
FG FOREGROUND	OPP. OPPOSITE	WS WEATHERSTRIPPING
F.G. FINISH GRADE	OTB OPEN TO BEYOND	
F.F. FINISH FLOOR		
FIN. FINISH		

CONCEPT RENDERING



(VIEW WITHIN SITE, LOOKING SOUTH)

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GB-1 GREEN BLDG CHECKLIST	A5.2 EXTERIOR ELEVATIONS
	A5.3 EXTERIOR ELEVATIONS (RESERVED)
-- SITE SURVEY	A5.4 EXTERIOR ELEVATIONS SECTIONS
	A5.5 EXTERIOR ELEVATIONS SECTIONS
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575 Los Trancos Road
Palo Alto, CA 94304
Private Residence

SPECIAL NOTES

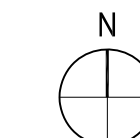
FIRE DEPARTMENT NOTES

- ALL STRUCTURES REQUIRE FIRE SPRINKLER PROTECTION. INSTALL AN NFPA 13-D FIRE SPRINKLER SYSTEM W/ 4-HEAD CALC AND COVERAGE THROUGHOUT THE ENTIRE HOUSE, INCLUDING CLOSETS & BATHROOMS.
- THIS SITE IS LOCATED IN A HIGH HAZARD FIRE AREA AND SHALL COMPLY W/ WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS PER 2019 CALIFORNIA RESIDENTIAL CODE.

LOCATION MAP



PROJECT SITE



PROJECT INFORMATION

Project Address:	575 Los Trancos, Palo Alto, CA 94304
APN#:	182-46-012
Lot Area / Site Area:	+/- 234,352.8 SF (+/- 5.38 acres)
Net Lot Area:	+/- 224,291.4 SF
Zoning:	OS
Flood Zone / Historic Status:	No / None
Setbacks:	30' Front, Sides & Rear
Max FAR:	+/- 9,374 SF (4% of Site Area)
Max Height/Stories:	25' / 2-stories
Max Impervious Coverage:	+/- 9,374 SF (4% of Site Area)
Proposed Floor Area:	8,005 SF (Main House: 7110sf; 2nd Unit: 895sf) (Main House: L1 = 3988sf; L2 = 2388sf; Garage: 734sf)
Proposed Impervious Coverage:	7,313 SF (Bldg Coverage: 5,617sf + Site Impervious Hardscape: 1,696sf)
Parking	4 spaces required; 4 spaces provided (3 covered, 1 uncovered)
Occupancy Class / Type of Construction:	R-3 / V-B

PROJECT:
This project consists of a new single family residence with attached garage, a new 2nd unit (ADU) and associated site improvements including swimming pool.

PROJECT DIRECTORY

CLIENT / OWNER Innovative Homes LLC c/o: John Suppes 412 Olive Avenue Palo Alto, CA 94306 john@clarum.com	SURVEYOR Chappell Surveying Inc. Brett Chappell 147 North 1st Ave Oakdale, CA 95361 tel: 408-910-5688 mf@leabrazze.com	ARBORIST Kielty Arborist Services Kevin Kielty, David Beckham P.O. Box 6187 San Mateo, CA 94403 tel: 650-515-9783 kkarbor0476@yahoo.com
ARCHITECT LNAI Architecture Leonard Ng 10 Rollins Road, #207 Millbrae, CA 94030 tel: 650-678-4965 LN@LNAL.COM	CIVIL Lea & Braze Engineers Inc. Johnny Chiu, Matthew Hoang 2495 Industrial Parkway West Hayward, CA 94545 tel: 510-887-4086 x157 jchiu@leabrazze.com	LANDSCAPE ARCHITECT In Situ Landscape Architecture Homgsheng Tu tel: 415.412.7891 h.tu@insitulandscape.com
STRUCTURAL ENGINEER ZFA Structural Engineers Joel Pancoast, Jason Powers 1390 El Camino Real, #100 San Carlos, CA 94070 tel: 650-394-8869 joelp@zfa.com		

SYMBOLS

	DRAWING TITLE		REFERENCE PT, WORK PT, DIMENSION PT, ELEVATION PT
	ROOM NUMBER		WINDOW NUMBER
	DETAIL KEY		DOOR NUMBER
	SECTION KEY, ELEVATION KEY		DIMENSION
	INT. ELEV KEY		DIMENSION
	COLUMN LINE		ALIGN FACE OF FINISHES
	PARTITION TYPE		
	REVISION TAG		

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023
PLANNING REVISION	6/1/2023

ISSUE	--
DATE	4/8/2021
SCALE	AS NOTED
SHEET TITLE	PROJECT INFORMATION

PROJECT INFORMATION

SHEET #
A0.0

City of Palo Alto
Tree Protection - It's Part of the Plan!

Make sure your crews and subs do the job right!

Fenced enclosures around trees are essential to protect them by keeping the foliage canopy and branching structure clear from contact by equipment, materials and activities, preserving roots and soil conditions in an intact and non-compacted state, and identifying the Tree Protection Zone (TPZ) in which no soil disturbance is permitted and activities are restricted, unless otherwise approved. **An approved tree protection report must be added to this sheet when project activity occurs within the TPZ of a regulated tree.**
For detailed information on Palo Alto's regulated trees and protection during development, review the **City Tree Technical Manual (TTM)** found at www.cityofpaloalto.org/trees/.

SEE ARBORIST REPORT
FOR INFO

575 LOS
TRANCOS RD,
PALO ALTO

Project
Data

T-2

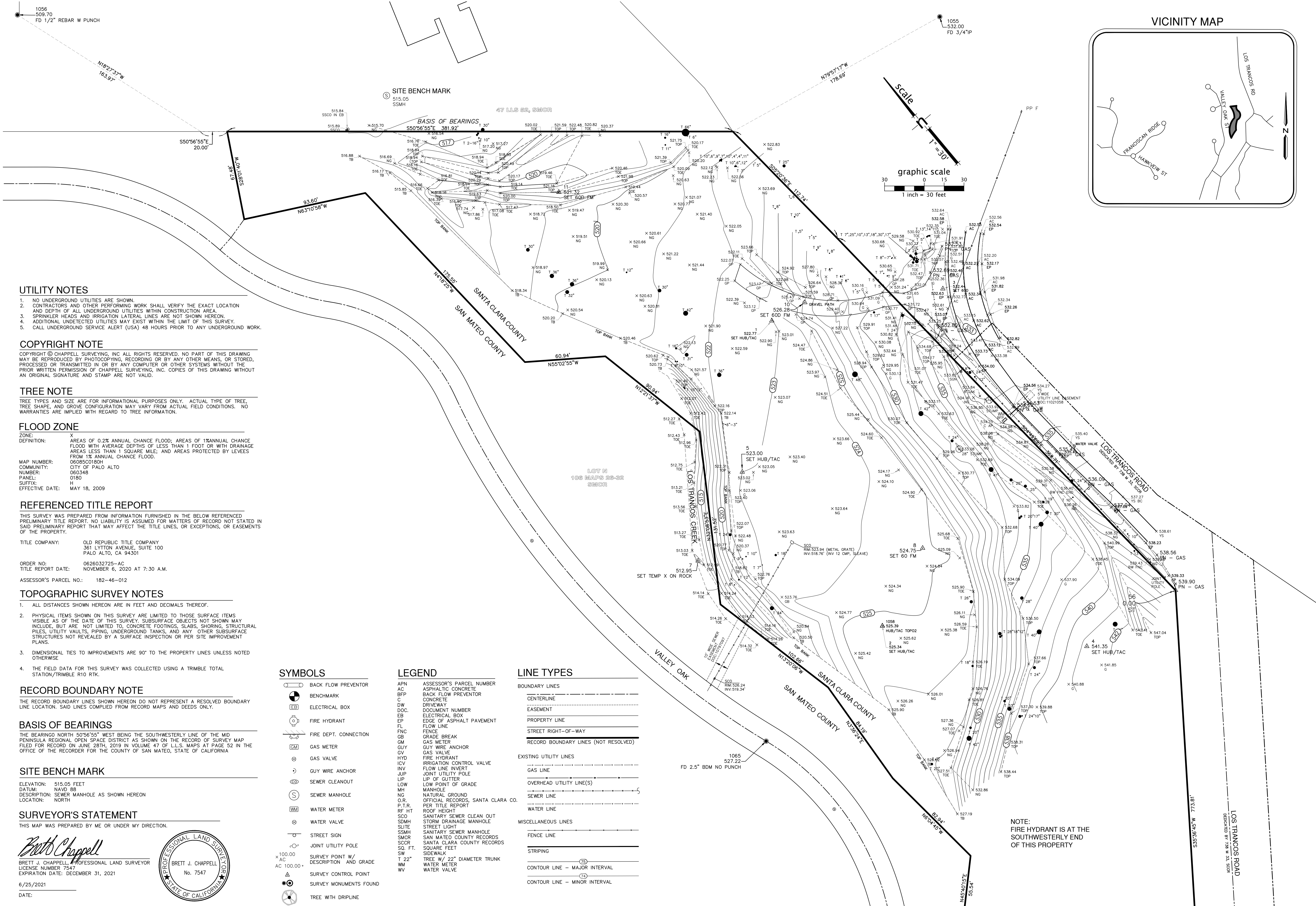
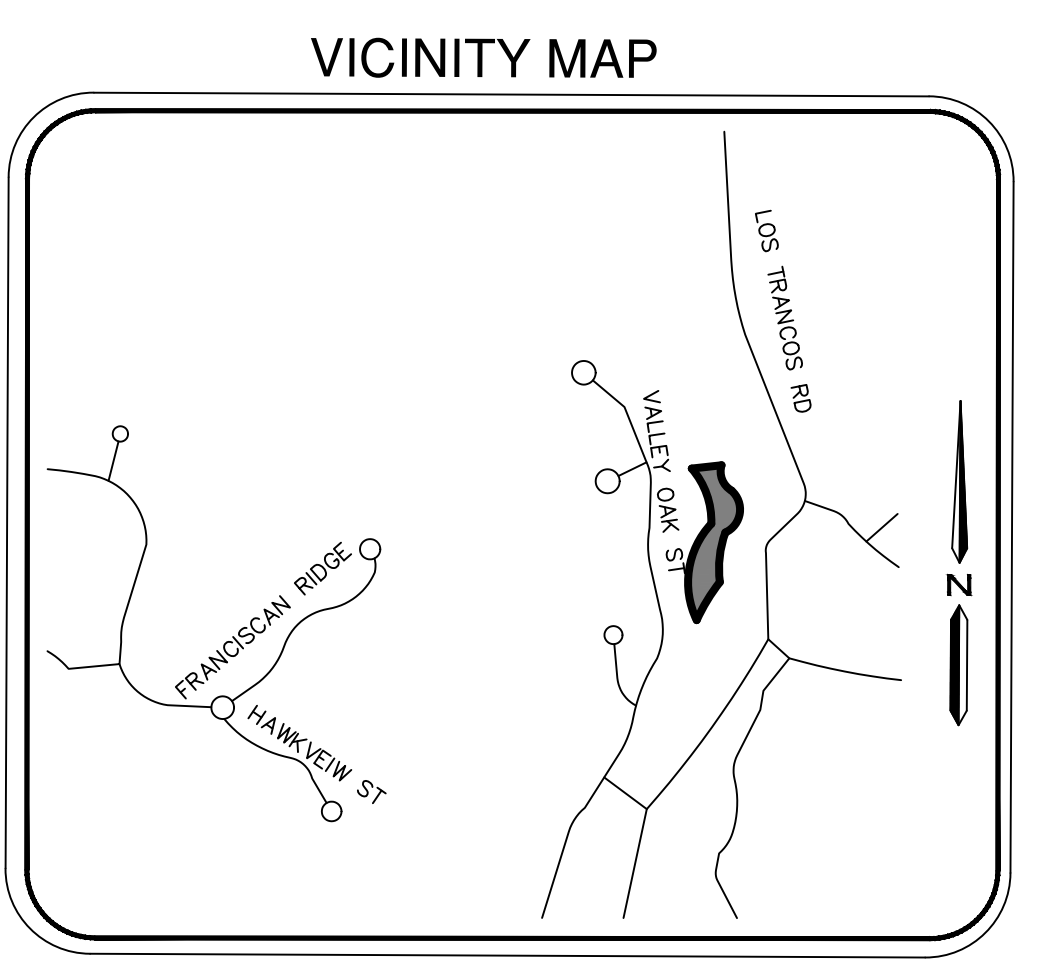


All other tree-related reports shall be added to the space provided on this sheet (adding as needed)
Include this sheet(s) on Project Sheet Index or Legend Page.
A copy of T-1 can be downloaded at
<http://www.cityofpaloalto.org/civica/filebank/blobdload.asp?BlobID=6460>

Special Tree Protection Instruction Sheet
City of Palo Alto



T-2



UTILITY NOTES

- NO UNDERGROUND UTILITIES ARE SHOWN.
- CONTRACTORS AND OTHER PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITHIN CONSTRUCTION AREA.
- SPRINKLER HEADS AND IRRIGATION LATERAL LINES ARE NOT SHOWN HEREON.
- ADDITIONAL UNDETECTED UTILITIES MAY EXIST WITHIN THE LIMIT OF THIS SURVEY.
- CALL UNDERGROUND SERVICE ALERT (USA) 48 HOURS PRIOR TO ANY UNDERGROUND WORK.

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 COPYRIGHT © CHAPPELL SURVEYING, INC ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED BY PHOTOCOPYING, RECORDING OR BY ANY OTHER MEANS, OR STORED, PROCESSED OR TRANSMITTED IN OR BY ANY COMPUTER OR OTHER SYSTEMS WITHOUT THE PRIOR WRITTEN PERMISSION OF CHAPPELL SURVEYING, INC. COPIES OF THIS DRAWING WITHOUT AN ORIGINAL SIGNATURE AND STAMP ARE NOT VALID.

TREE NOTE
 TREE TYPES AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED WITH REGARD TO TREE INFORMATION.

FLOOD ZONE
 ZONE: X
 DEFINITION: AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

MAP NUMBER: 06085C0180H
 COMMUNITY: CITY OF PALO ALTO
 NUMBER: 060348
 PANEL: 0180
 SUFFIX: H
 EFFECTIVE DATE: MAY 18, 2009

REFERENCED TITLE REPORT
 THIS SURVEY WAS PREPARED FROM INFORMATION FURNISHED IN THE BELOW REFERENCED PRELIMINARY TITLE REPORT. NO LIABILITY IS ASSUMED FOR MATTERS OF RECORD NOT STATED IN SAID PRELIMINARY REPORT THAT MAY AFFECT THE TITLE LINES, OR EXCEPTIONS, OR EASEMENTS OF THE PROPERTY.

TITLE COMPANY: OLD REPUBLIC TITLE COMPANY
 361 LYTTON AVENUE, SUITE 100
 PALO ALTO, CA 94301

ORDER NO: 0626032725-AC
 TITLE REPORT DATE: NOVEMBER 6, 2020 AT 7:30 A.M.

ASSESSOR'S PARCEL NO.: 182-46-012

TOPOGRAPHIC SURVEY NOTES

- ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR PER SITE IMPROVEMENT PLANS.
- DIMENSIONAL TIES TO IMPROVEMENTS ARE 90° TO THE PROPERTY LINES UNLESS NOTED OTHERWISE.
- THE FIELD DATA FOR THIS SURVEY WAS COLLECTED USING A TRIMBLE TOTAL STATION/TRIMBLE R10 RTK.

RECORD BOUNDARY NOTE
 THE RECORD BOUNDARY LINES SHOWN HEREON DO NOT REPRESENT A RESOLVED BOUNDARY LINE LOCATION. SAID LINES COMPLIED FROM RECORD MAPS AND DEEDS ONLY.

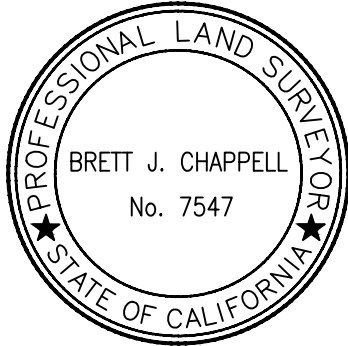
BASIS OF BEARINGS
 THE BEARING NORTH 50°56'55" WEST BEING THE SOUTHWESTERLY LINE OF THE MID PENINSULA REGIONAL OPEN SPACE DISTRICT AS SHOWN ON THE RECORD OF SURVEY MAP FILED FOR RECORD ON JUNE 28TH, 2019 IN VOLUME 47 OF L.L.S. MAPS AT PAGE 52 IN THE OFFICE OF THE RECORDER FOR THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA

SITE BENCH MARK
 ELEVATION: 515.05 FEET
 DATUM: NAVD 88
 DESCRIPTION: SEWER MANHOLE AS SHOWN HEREON
 LOCATION: NORTH

SURVEYOR'S STATEMENT
 THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

Brett J. Chappell
 BRETT J. CHAPPELL, PROFESSIONAL LAND SURVEYOR
 LICENSE NUMBER 7547
 EXPIRATION DATE: DECEMBER 31, 2021

6/25/2021
 DATE:



SYMBOLS

	BACK FLOW PREVENTOR
	BENCHMARK
	ELECTRICAL BOX
	FIRE HYDRANT
	FIRE DEPT. CONNECTION
	GAS METER
	GAS VALVE
	FIRE HYDRANT CONNECTION
	GUY WIRE ANCHOR
	SEWER CLEANOUT
	SEWER MANHOLE
	WATER METER
	WATER VALVE
	STREET SIGN
	JOINT UTILITY POLE
	SURVEY POINT W/ DESCRIPTION AND GRADE
	SURVEY CONTROL POINT
	SURVEY MONUMENTS FOUND
	TREE WITH DRIPLINE

LEGEND

APN	ASSESSOR'S PARCEL NUMBER
AC	ASPHALTIC CONCRETE
BFP	BACK FLOW PREVENTOR
C	CONCRETE
DW	DRIVEWAY
DOC.	DOCUMENT NUMBER
EB	ELECTRICAL BOX
EP	EDGE OF ASPHALT PAVEMENT
FL	FLOW LINE
FNC	FENCE
GB	GRADE BREAK
GM	GAS METER
GUY	GUY WIRE ANCHOR
GV	GAS VALVE
HYD	FIRE HYDRANT
ICV	IRRIGATION CONTROL VALVE
INV	FLOW LINE INVERT
JUP	JOINT UTILITY POLE
LIP	LIP OF GUTTER
LOW	LOW POINT OF GRADE
MH	MANHOLE
NG	NATURAL GROUND
O.R.	OFFICIAL RECORDS, SANTA CLARA CO.
P.T.R.	PER TITLE REPORT
RF HT	ROOF HEIGHT
SCO	SANITARY SEWER CLEAN OUT
SDMH	STORM DRAINAGE MANHOLE
SLITE	STREET LIGHT
SMH	SANITARY SEWER MANHOLE
SMCR	SANTA CLARA COUNTY RECORDS
SQ.	SQUARE FEET
SW	SIDEWALK
T 22"	TREE W/ 22" DIAMETER TRUNK
WM	WATER METER
WV	WATER VALVE

LINE TYPES

	BOUNDARY LINES
	CENTERLINE
	EASEMENT
	PROPERTY LINE
	STREET RIGHT-OF-WAY
	RECORD BOUNDARY LINES (NOT RESOLVED)
	EXISTING UTILITY LINES
	GAS LINE
	OVERHEAD UTILITY LINE(S)
	SEWER LINE
	WATER LINE
	MISCELLANEOUS LINES
	FENCE LINE
	STRIPING
	CONTOUR LINE - MAJOR INTERVAL
	CONTOUR LINE - MINOR INTERVAL

NOTE:
 FIRE HYDRANT IS AT THE SOUTHWESTERLY END OF THIS PROPERTY

TOPOGRAPHIC SURVEY
 575 LOS TRANCOS ROAD
 FOR CLARUM HOMES

CITY OF PALO ALTO
 COUNTY OF SANTA CLARA
 STATE OF CALIFORNIA

Revisions	
No.	Description
1	12/8/20
2	11-30
3	Field
4	Mapping
5	Approved EUC
6	Job No. 2020084

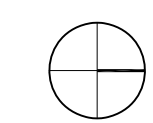
Date: 12/8/20
 Scale: 1"=30'
 Field: WI/BC
 Mapping: WI
 Approved EUC
 Job No. 2020084

Drawing: 2020084MASTER

1 OF 1



* PROPERTY LINE OVERLAY ON AERIAL ABOVE IS FOR GENERAL REFERENCE & IS APPROXIMATE ONLY (SEE SURVEY FOR SPECIFIC INFO)



0 16 32

AERIAL IMAGE 01
N.T.S.

lnAI
ARCHITECTURE

WWW.LNAI.COM
650.678.4965

575 Los Trancos Road
Palo Alto, CA 94304
Private Residence

DRAWING RELEASE STATUS		DATE
SITE & DESIGN REVIEW		6/28/2021
SITE & DESIGN REVISION		8/24/2021
ISSUE		
--		
DATE	4/8/2021	JOB # 202015
SCALE	AS NOTED	DRAWN BY --
SHEET TITLE		
AERIAL IMAGE		
SHEET #		

A0.1A

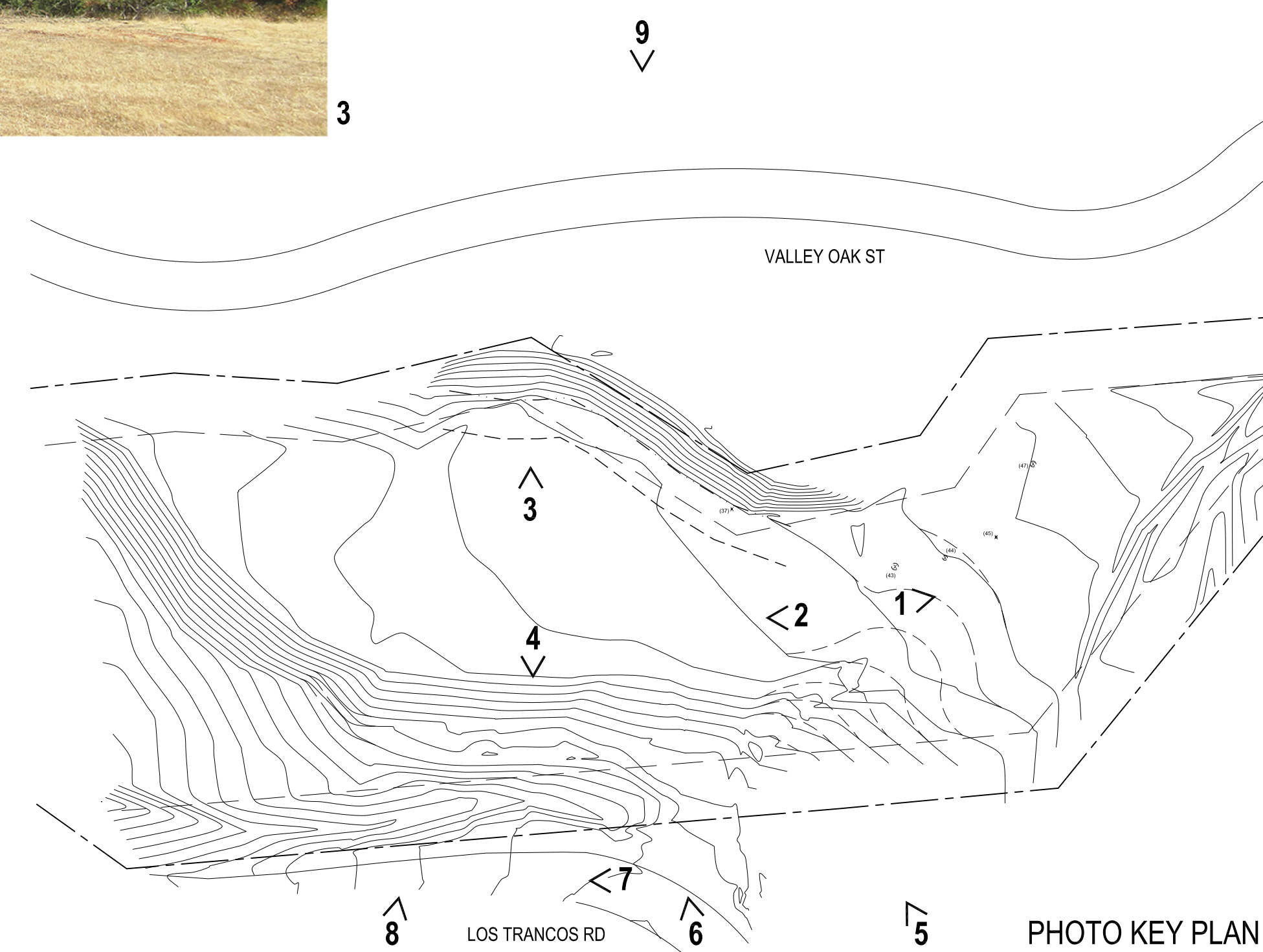
575 Los Trancos Road
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STREET
PHOTOS



SITE
PHOTOS



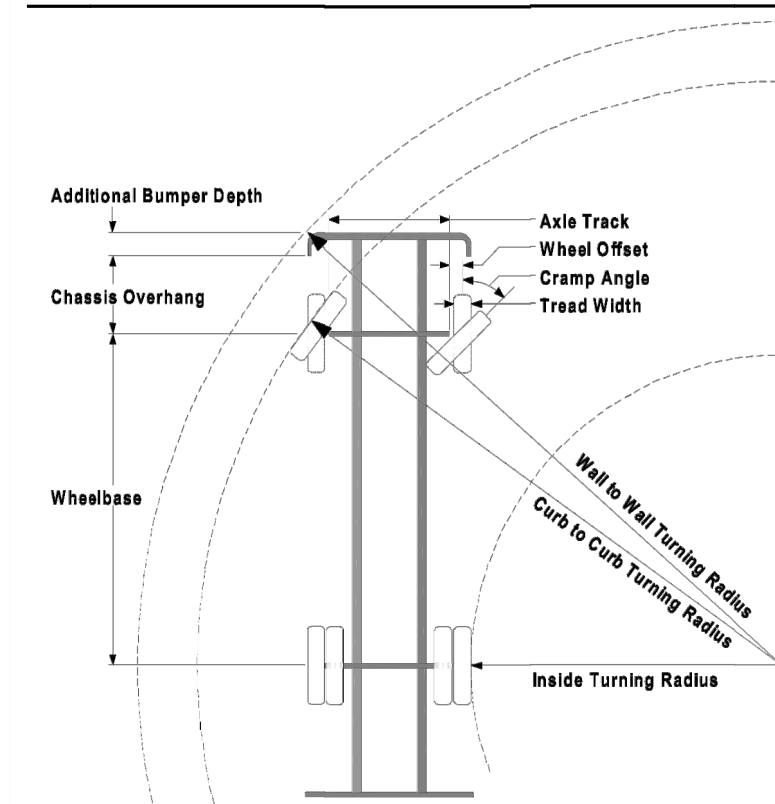
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DRAWN BY	--
SHEET TITLE	
EXISTING SITE PHOTOS	
SHEET #	

A0.1B



Turning Performance Analysis

3/9/2017



Parameters:

Inside Cramp Angle:	45.00°
Axle Track:	82.92 in.
Wheel Offset:	4.68 in.
Tread Width:	15.90 in.
Chassis Overhang:	68.99 in.
Additional Bumper Depth:	16.00 in.
Front Overhang:	84.99 in.
Wheelbase:	188.50 in.

Calculated Turning Radii:

Inside Turn:	14 ft. 8 in.
Curb to Curb:	28 ft. 7 in.
Wall to Wall:	32 ft. 10 in.

Comments:

21828

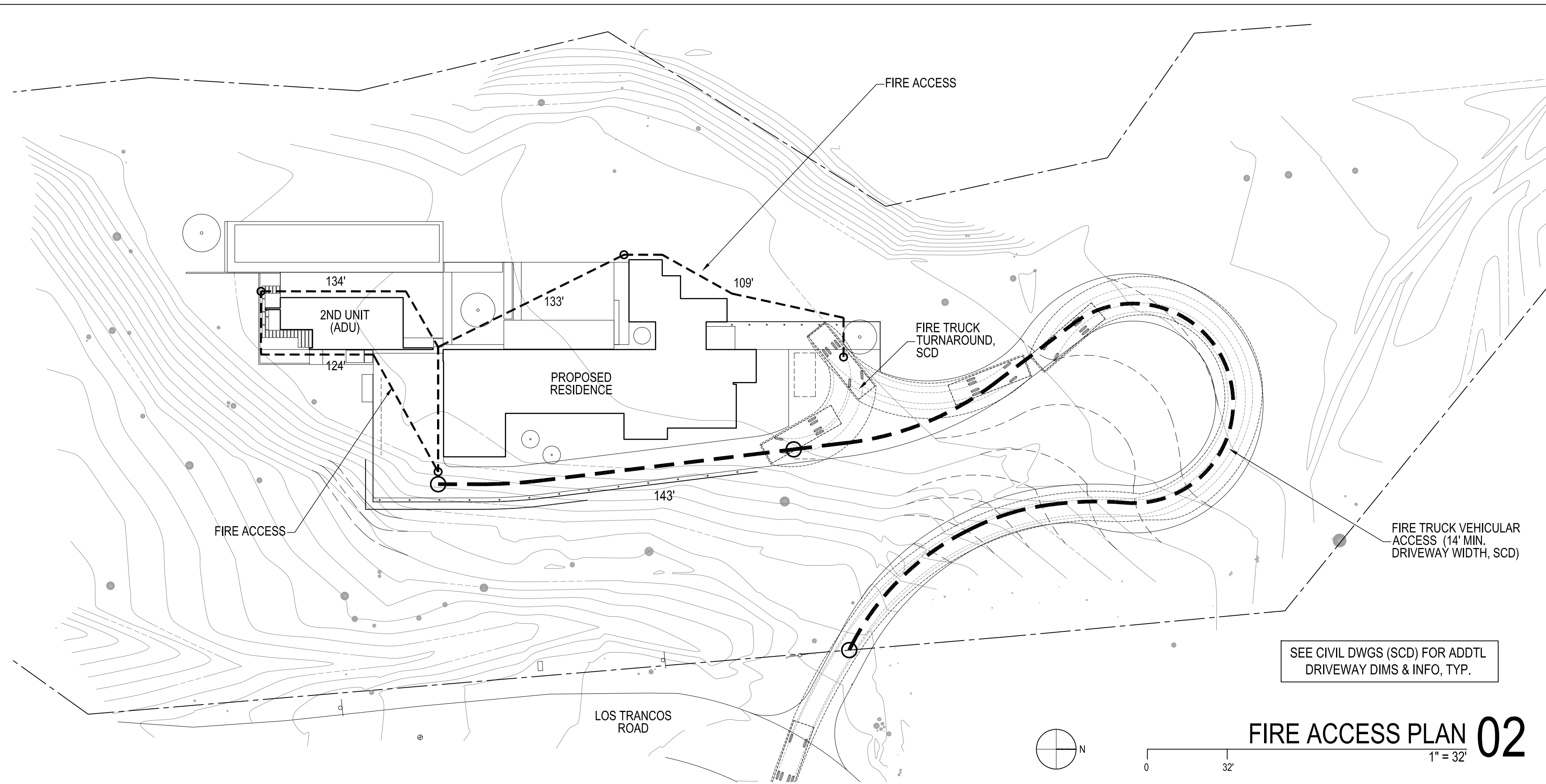
Components

PRIDE #	Description
0030262	Axle, Front, Oshkosh TAK-4, Non Drive, 19,500 lb, DLX/Ent/Qtm/AXT
0019611	Wheels, Frt, Alum, Alcoa, 22.50" x 12.25" (425' & 385')
0001630	Tires, Goodyear, 385/65R22.50 18 ply G286 tread
0041906	Arrow-XT Chassis
0550015	Bumper, 16" extended - AXT

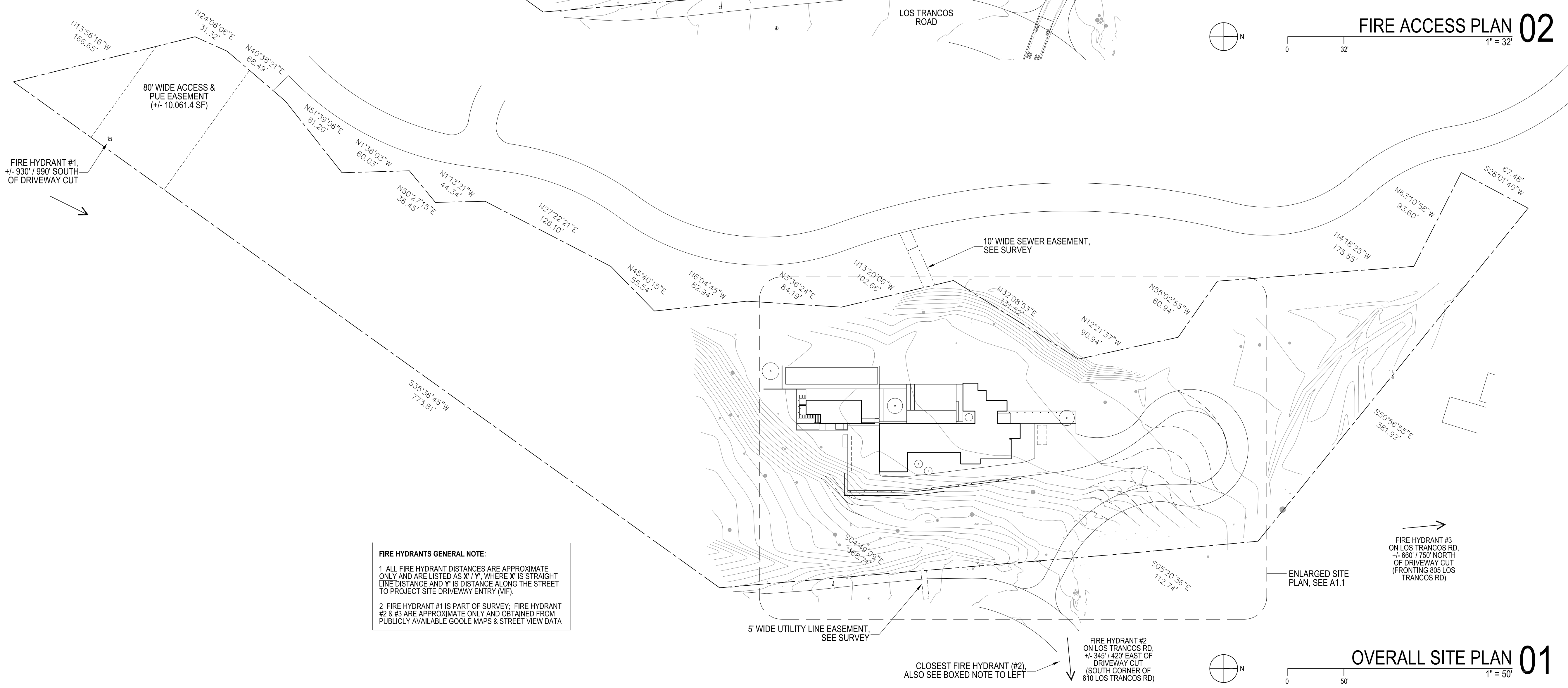
Notes:

Actual Inside Cramp Angle may be less due to highly specialized options.
Curb to Curb turning radius calculated for a 9.00 inch curb.

FIRE APPARATUS INFO & TURNAROUND LAYOUT PROVIDED BY LEA & BRAZE, CIVIL ENGINEER, SCD FOR ADDTL INFO.



FIRE ACCESS PLAN 02



FIRE HYDRANTS GENERAL NOTE:

1 ALL FIRE HYDRANT DISTANCES ARE APPROXIMATE ONLY AND ARE LISTED AS X' Y' WHERE X IS STRAIGHT LINE DISTANCE AND Y IS DISTANCE ALONG THE STREET TO PROJECT SITE DRIVEWAY ENTRY (VF).

2 FIRE HYDRANT #1 IS PART OF SURVEY. FIRE HYDRANT #2 & #3 ARE APPROXIMATE ONLY AND OBTAINED FROM PUBLICLY AVAILABLE GOOGLE MAPS & STREET VIEW DATA

OVERALL SITE PLAN 01

575 Los Trancos Road
Palo Alto, CA 94304
Private Residence

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SITE & DESIGN REVIEW	6/28/2021
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SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

ISSUE	DATE	JOB #
	4/8/2021	202015

SHEET TITLE
OVERALL SITE PLAN & FIRE ACCESS PLAN

SHEET #
A0.2

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Private Residence



DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

SCALE AS NOTED DRAWN BY --

SHEET TITLE

CONCEPT
RENDERING

SHEET #

A0.3

CONCEPT RENDERING (VIEW LOOKING SOUTH) **01**
NTS

575 Los Trancos Road
Palo Alto, CA 94304
Private Residence

GENERAL NOTES:
1 ALL DIMENSIONS MEASURED TO F.O. STUD / OUTSIDE OF STUD WALLS.
2 EXT. WALL FINISH ASSEMBLIES HAVE MIN. 1.5" THICKNESS, TYP.

L2 GROSS SUB-AREAS (SF):

M	30'11 X 28'3	873.4
N	26'1 X 24'3	632.5
O	20'3 X 11'1	224.4
P	18'5 X 9'4	171.9
Q	20'8 X 18'4	378.9
R	3'9 X 9'1	34.1
S	9'7 X 11'9	112.6
T	4'4 X 12'5	53.8

L2 GROSS: 2481.6 SF
(LESS FLR OPENINGS - SEE RIGHT)

L1 GROSS SUB-AREAS (SF):

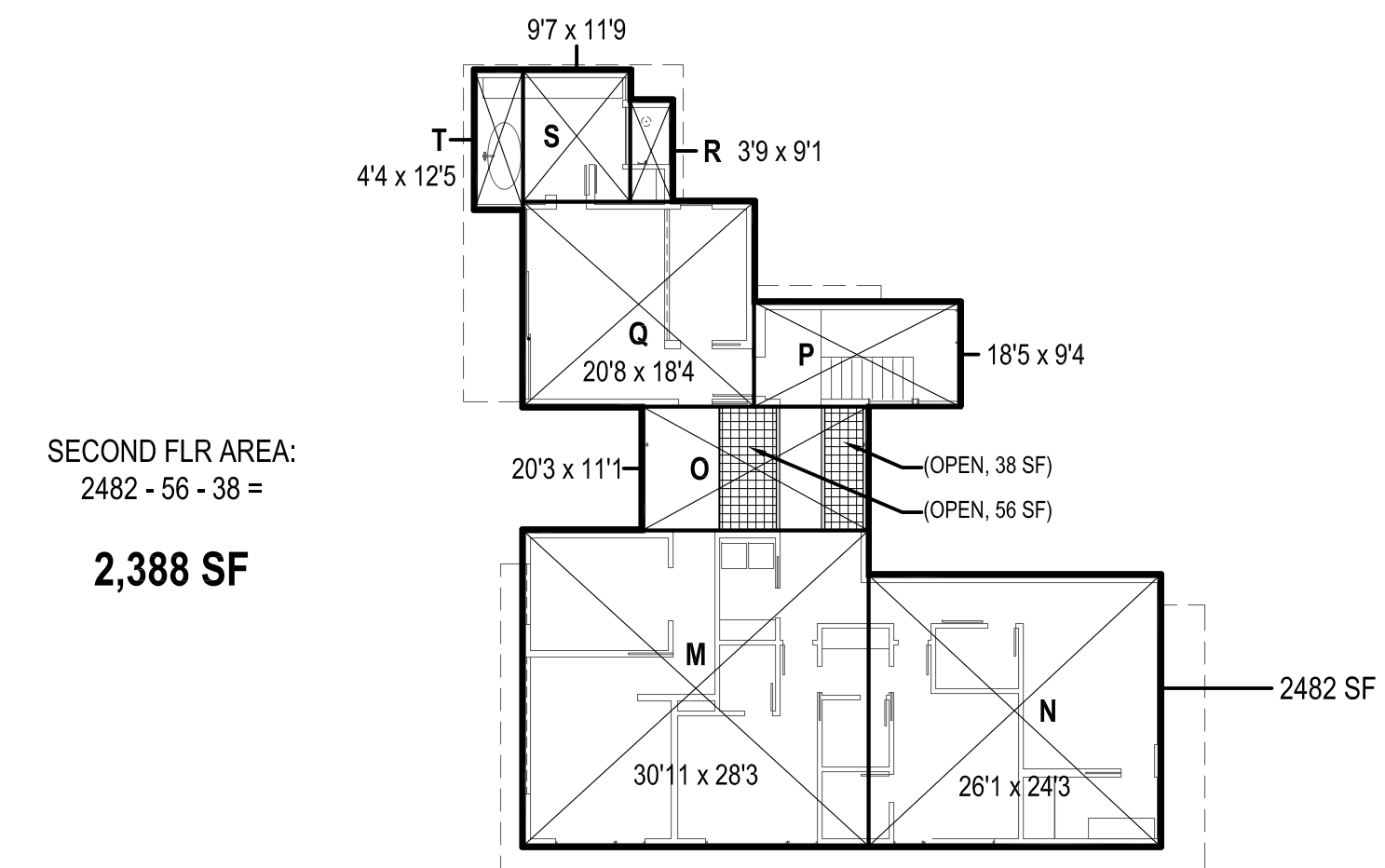
A	91'3 X 25'7	2334.5
B	17'5 X 10'5	181.4
C	27'7 X 5'11	163.2
D	1'3 X 11'8	14.6
E	9'3 X 13'3	122.6
F	20'3 X 11'1	224.4
G	35'7 X 9'4	332.1
H	7'4 X 9'	66
I	13'4 X 15'7	207.8
J	25' X 43'	1075

L1 GROSS: 4721.6 SF

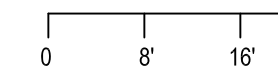
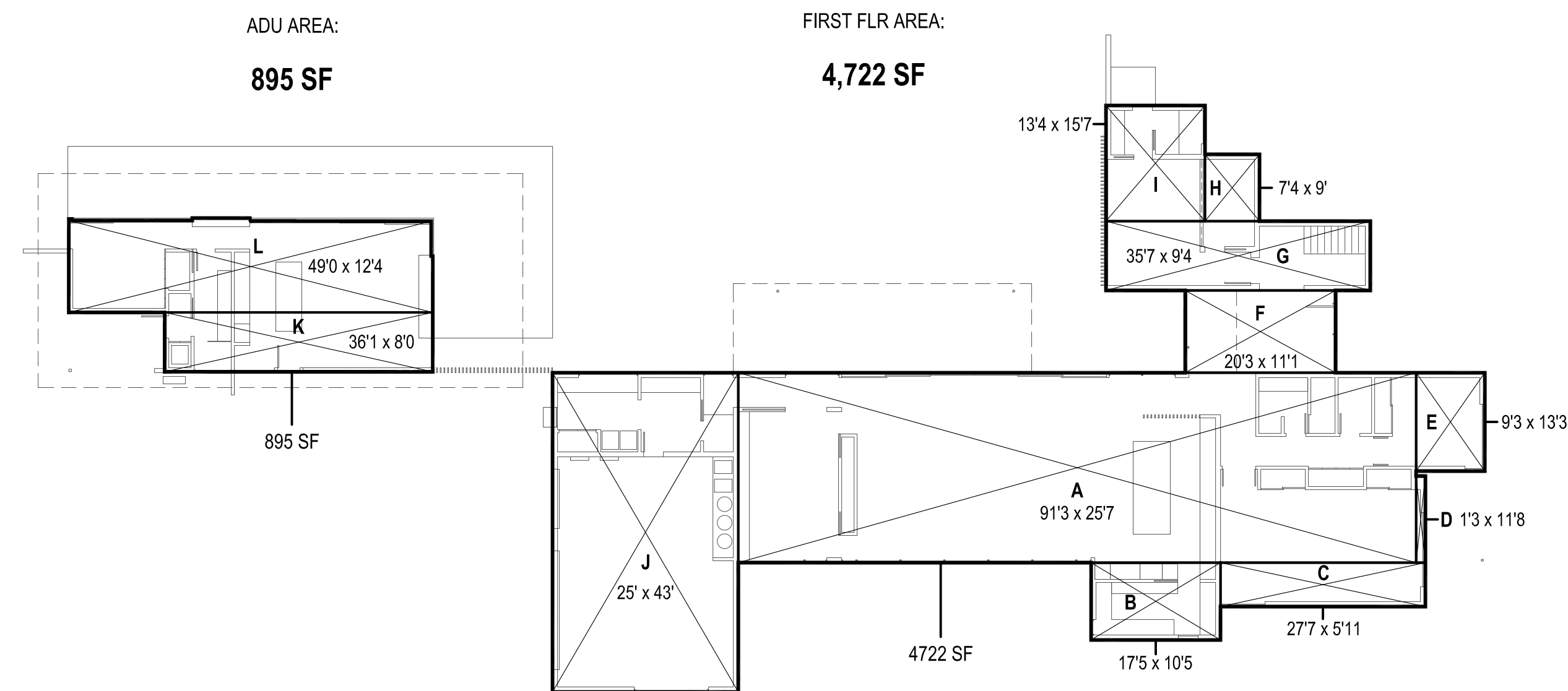
ADU GROSS SUB-AREAS (SF):

K	36'1 X 8'0	288.7
L	49'0 X 12'4	606.3

ADU GROSS: 895 SF



TOTAL FLOOR AREA: 8,005 SF
(1ST FLR + 2ND FLR + ADU) = 4722 + 2388 + 895



FAR / AREA DIAGRAMS 01
1"=16'

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

SCALE AS NOTED DRAWN BY --

SHEET TITLE

AREA CALCS &
DIAGRAM

SHEET #

A0.4

575 Los Trancos Road
Palo Alto, CA 94304
Private Residence

OAK GROVE / SITE GREENERY:
DARKER TONES OF TRUNKS, SHADOWS &
CANOPIES MIXED W/ DEEP AND MID GREENS



WD-1, WD-2 & WD-3:
NATURAL DARK-STAINED VERTICAL GRAIN
WOOD/WOOD-CLAD SIDING & SLATS



FASCIAS & TRIM:
SMOOTH DARK PAINTED FINISH
BENJAMIN MOORE 2133-20
BLACKJACK

PLAS-1:
SMOOTH-FINISH CEMENT PLASTER,
WARM EARTH-TONE GRAY

BENJAMIN MOORE HC-105
ROCKPORT GRAY



NATURAL DARK-STAINED VERTICAL WOOD SIDING & SLAT SCREENS



WARM GRAY WALLS IN EARTH-TONE



DARK ANODIZED ALUM WDWs & DOORS



CLR GLASS GUARDRAILS, DECKING W/ NATURAL WD APPEARANCE

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

ISSUE --

DATE 4/8/2021 JOB # 202015

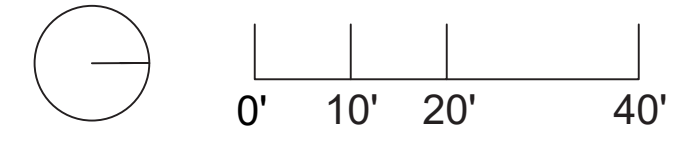
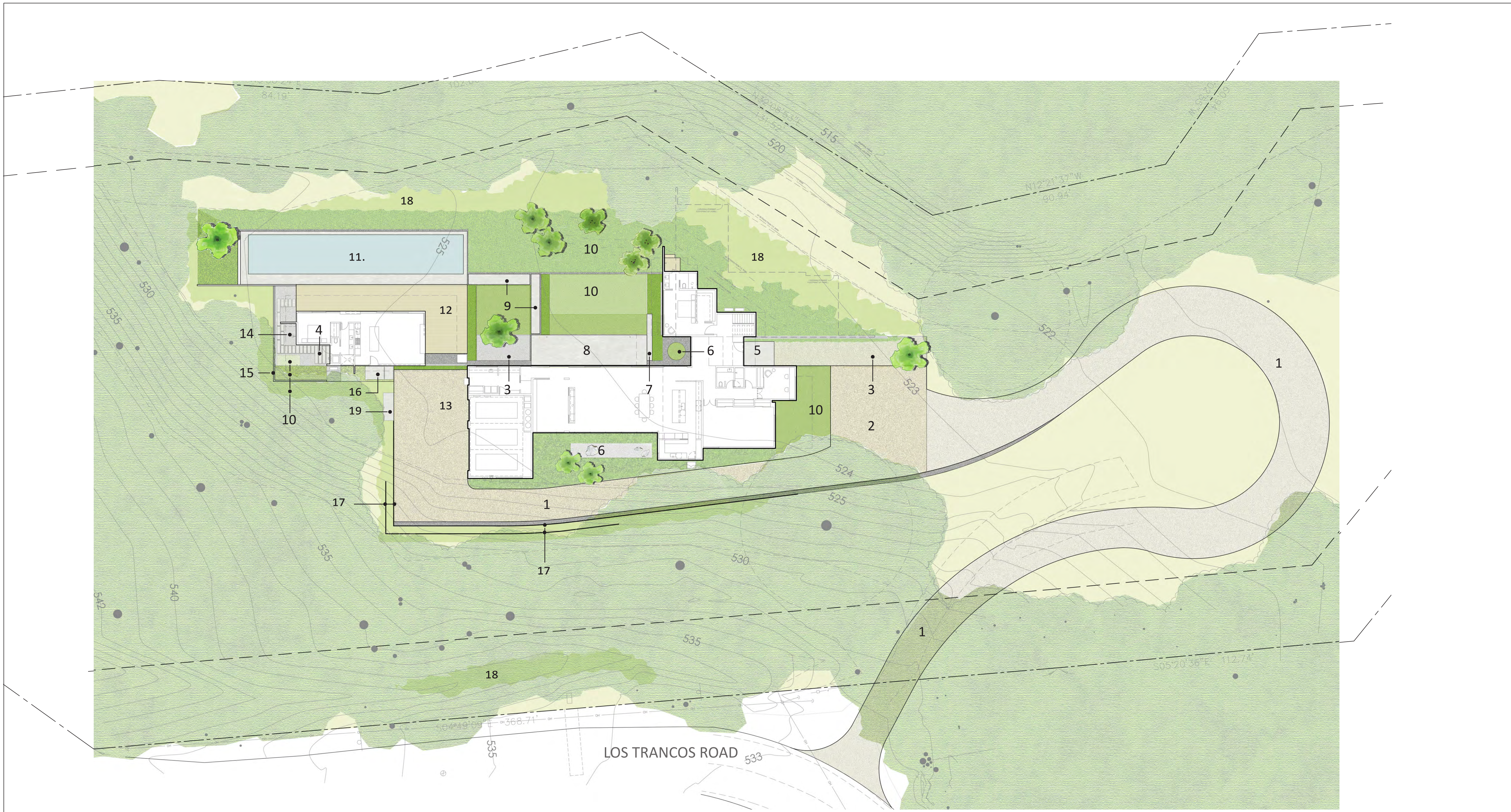
SCALE AS NOTED DRAWN BY --

SHEET TITLE

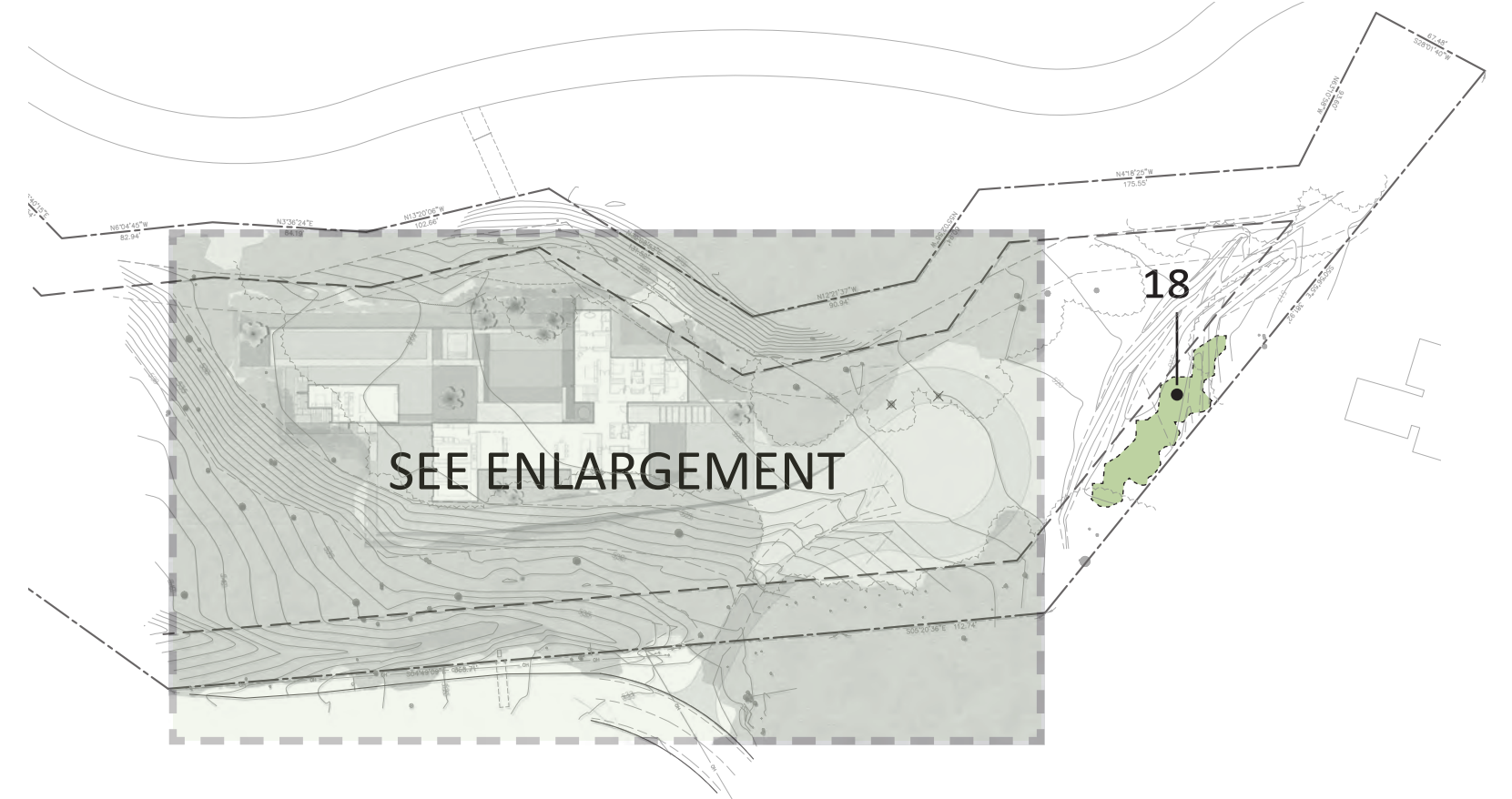
MATERIALS &
INSPIRATION BOARD

SHEET #

A0.5



- | | |
|--|------------------------------------|
| 1. PERMEABLE DRIVEWAY (GRAVEL OR DECOMPOSED GRANITE) | 12. OPEN-JOINT WOOD DECKING |
| 2. PERMEABLE ENTRY COURT (DECOMPOSED GRANITE) | 13. AUTOCOURT / DECOMPOSED GRANITE |
| 3. PERMEABLE GRAVEL WALKWAY | 14. OUTDOOR SHOWER |
| 4. STEPPING STONES | 15. SITE WALL |
| 5. ENTRY LANDING | 16. POOL HOUSE ENTRY LANDING |
| 6. VIEWING GARDEN | 17. LANDSCAPE METAL PLANTER WALL |
| 7. BENCH | 18. NATIVE PLANTING; SEE L1.02 |
| 8. PATIO | 19. TRASH BIN STORAGE AREA |
| 9. WALKWAY | |
| 10. NEW PLANTING AREA | |
| 11. POOL AND SPA W/ SAFETY COVER | |



DRAWING RELEASE STATUS	DATE
SITE AND DESIGN REVIEW	6/28/2021
DESIGN REVIEW RE-SUBMIT	8/24/2021
DESIGN REVIEW RE-SUBMIT	3/08/2023

ISSUE	DATE	JOB #
	3/08/2023	202015

SCALE	DRAWN BY
	HST

SHEET TITLE
CONCEPT LANDSCAPE PLAN

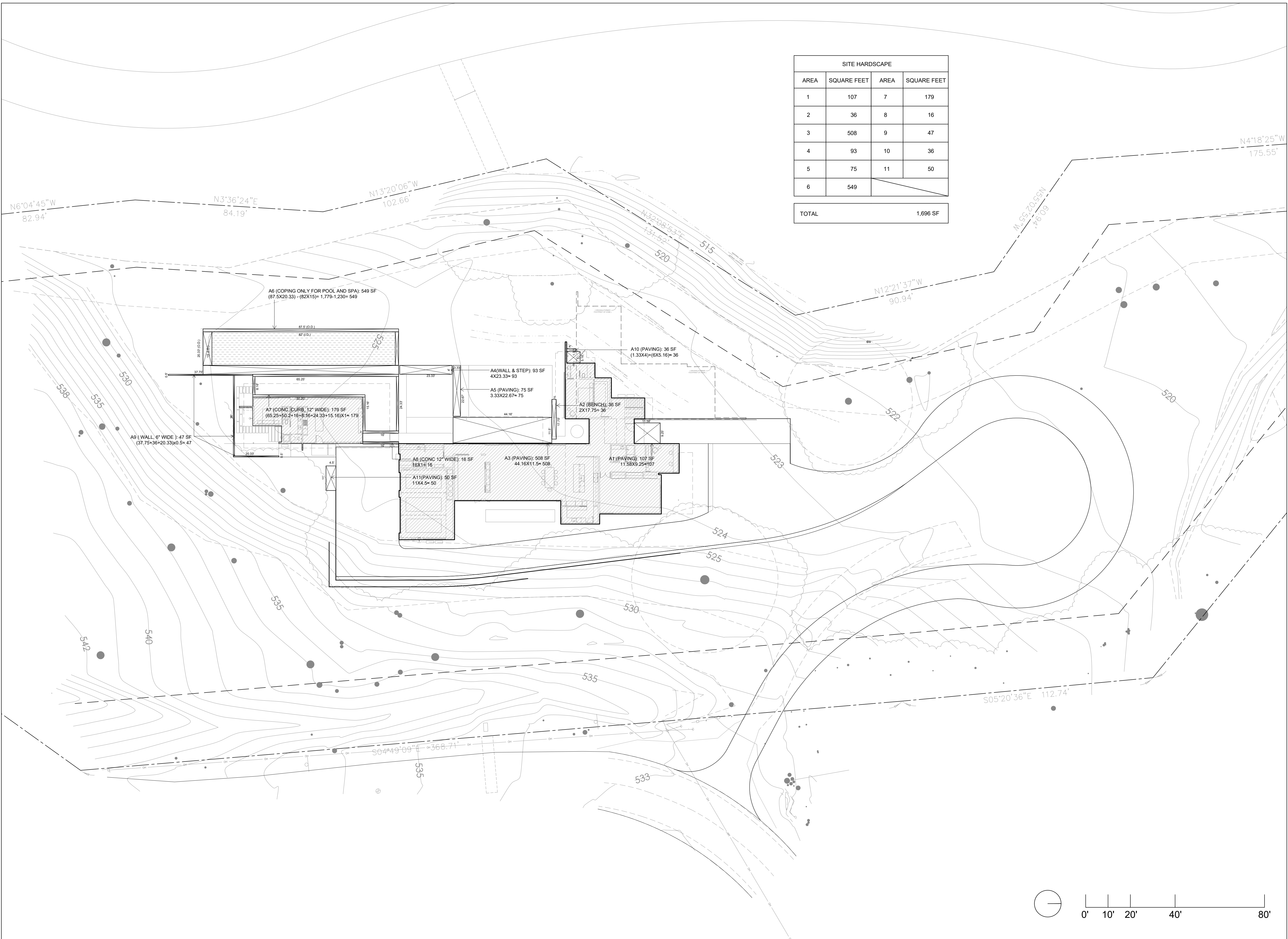
SHEET #
L1.00



IN SITU LANDSCAPE ARCHITECTURE
100 BEAUMONT AVE, SAN FRANCISCO CA 94118
www.insitulandscape.com

575 Los Trancos Road
Palo Alto, CA 94304
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SITE HARDSCAPE			
AREA	SQUARE FEET	AREA	SQUARE FEET
1	107	7	179
2	36	8	16
3	508	9	47
4	93	10	36
5	75	11	50
6	549		
TOTAL		1,696 SF	



DRAWING RELEASE STATUS DATE

SITE AND DESIGN REVIEW 8/24/2021

ISSUE

DATE 8/24/2021 JOB #

SCALE DRAWN BY HST

SHEET TITLE

SITE IMPERVIOUS CALCULATION

SHEET #

L1.01

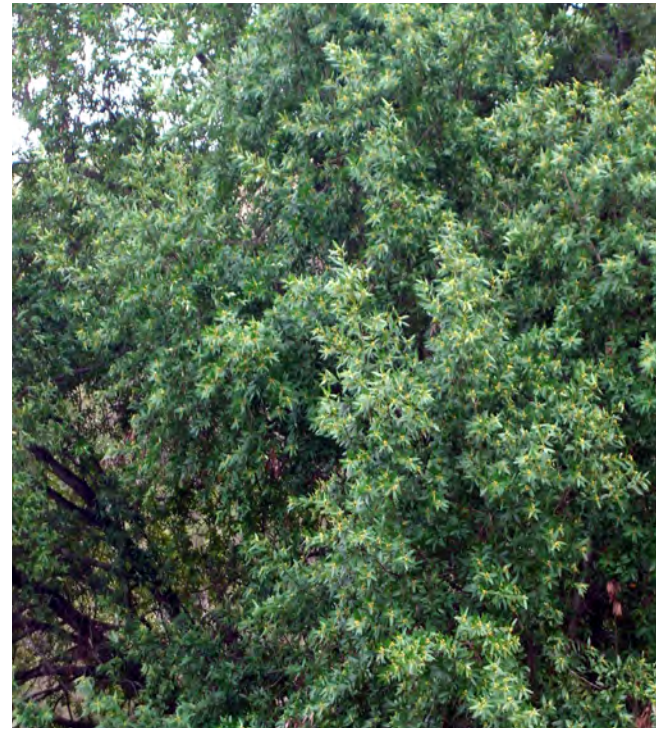
TREE



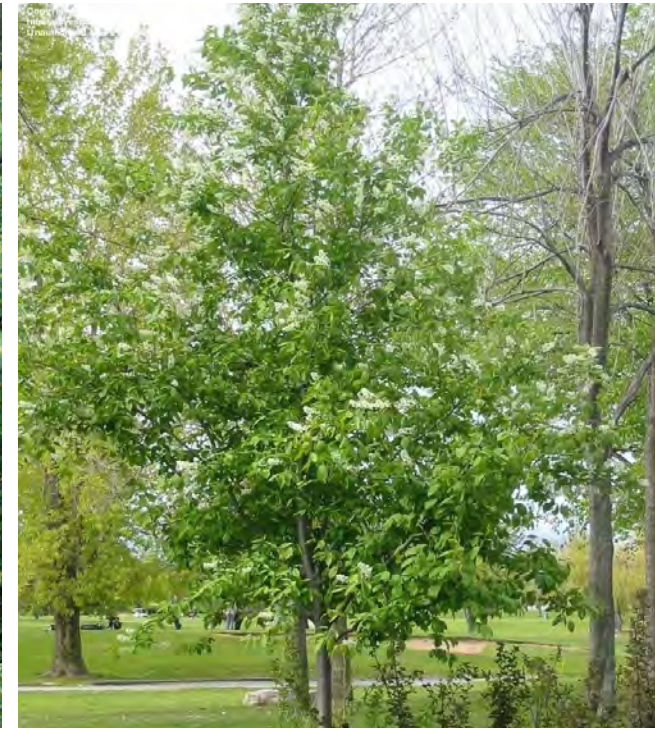
Acer macrophyllum
BIGLEAF MAPLE



Quercus agrifolia
COAST LIVE OAK



Umbellularia californica
CALIFORNIA BAY



Prunus virginiana
CHOKECHERRY



Quercus wislizeni
INTERIOR LIVE OAK



Sambucus mexicana
BLUE ELDERBERRY



Salix lasiolepis
ARROYO WILLOW

TREE / SHRUB

SHRUB



Ceanothus Concha
CONCHA CALIFORNIA LILAC



Frangula californica
CALIFORNIA COFFEEBERRY



Heteromeles arbutifolia
TOYON



Lepechinia calycina
WHITE PITCHER SAGE



Lonicera hispidula
CALIFORNIA HONEYSUCKLE



Myrica californica
PACIFIC WAX MYRTLE



Ribes aureum var. gracillimum
GOLDEN CURRANT



Rosa Californica
CALIFORNIA WILD ROSE

PERENNIAL



Achillea millefolium
COMMON YARROW



Artemisia douglasiana
MUGWORT



Heuchera micrantha
CREVICE ALUMROOT



Salvia leucophylla 'Bee's Bliss'
BEE'S BLISS PURPLE SAGE



Clinopodium douglasii
YERBA BUENA



Fragaria vesca
WOODLAND STRAWBERRY

GROUNDCOVER

GRASSES



Carex pansa
CALIFORNIA MEADOW SEDGE



Carex praegracilis
CLUSTERED FIELD SEDGE



Juncus patens
COMMON RUSH



Festuca idahoensis
Festuca rubra
Festuca occidentalis
NATIVE MOW-FREE FROM DELTA BLUEGRASS CO.

FERN

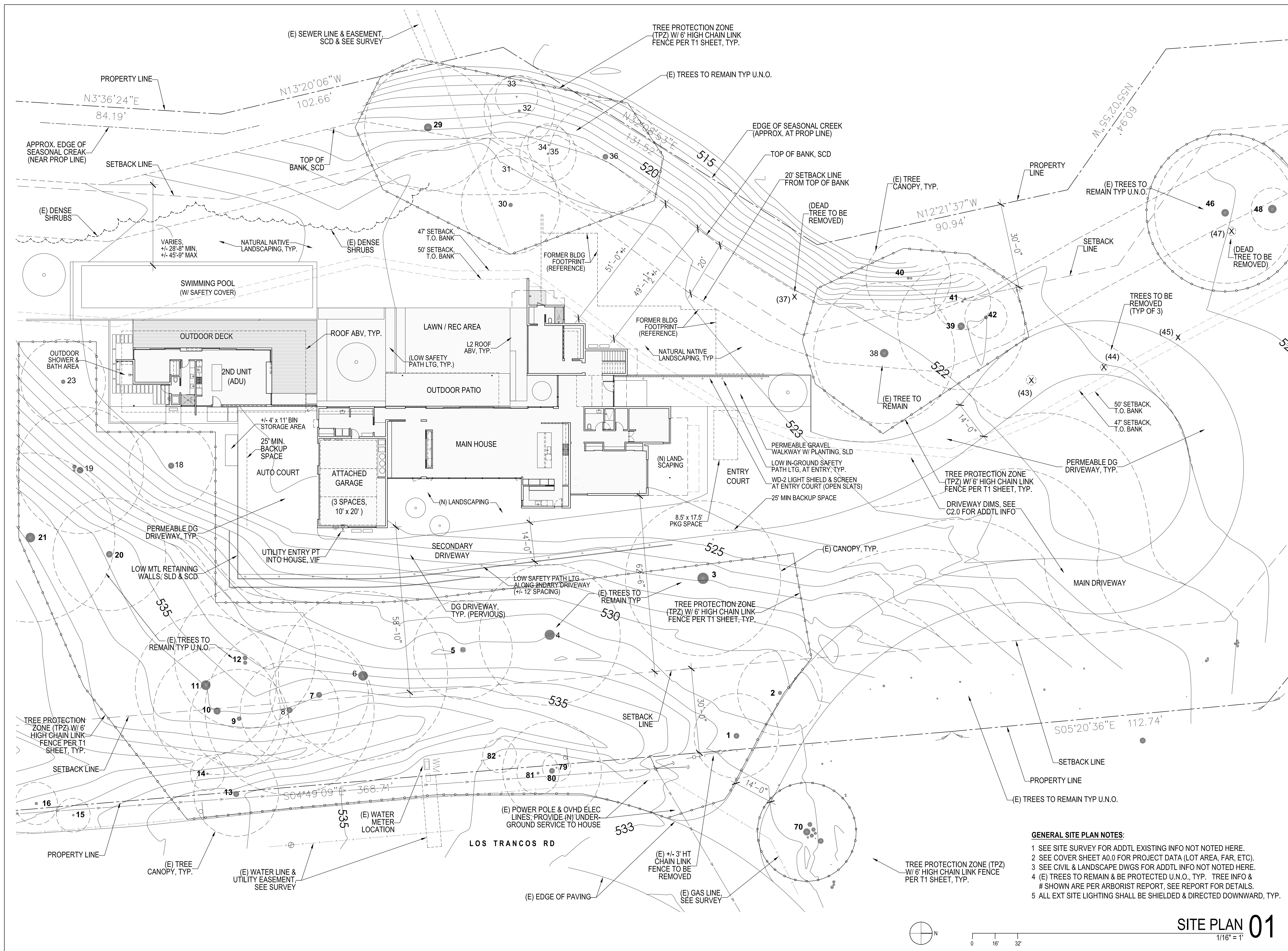


Woodwardia fimbriata
GIANT CHAIN FERN

#10 NEW PLANTING AREA
- SEE REPRESENTATIVE PLANTING SPECIES AND IMAGES
- NATIVE PLANTS ARE BASED ON CALIFORNIA NATIVE PLANT SOCIETY / CALSCAPE / WWW.CALSCAPE.ORG

#18 NATIVE PLANTING
REPRESENTATIVE CALIFORNIA NATIVE SPECIES
<i>Ceanothus Concha</i> / CONCHA CALIFORNIA LILAC
<i>Frangula californica</i> / CALIFORNIA COFFEE BERRY
<i>Heteromeles arbutifolia</i> / TOYON
<i>Quercus wislizeni</i> / INTERIOR LIVE OAK
<i>Sambucus mexicana</i> / BLUE ELDERBERRY
CREEK SIDE PLANTING
REPRESENTATIVE CALIFORNIA NATIVE SPECIES
<i>Acer macrophyllum</i> / BIGLEAF MAPLE
<i>Artemisia douglasiana</i> / MUGWORT
<i>Rosa Californica</i> / CALIFORNIA WILD ROSE
<i>Salix lasiolepis</i> / ARROYO WILLOW
<i>Umbellularia californica</i> / CALIFORNIA BAY

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Private Residence



- GENERAL SITE PLAN NOTES:**
- 1 SEE SITE SURVEY FOR ADDTL EXISTING INFO NOT NOTED HERE.
 - 2 SEE COVER SHEET A0.0 FOR PROJECT DATA (LOT AREA, FAR, ETC).
 - 3 SEE CIVIL & LANDSCAPE DWGS FOR ADDTL INFO NOT NOTED HERE.
 - 4 (E) TREES TO REMAIN & BE PROTECTED U.N.O., TYP. TREE INFO & # SHOWN ARE PER ARBORIST REPORT, SEE REPORT FOR DETAILS.
 - 5 ALL EXT SITE LIGHTING SHALL BE SHIELDED & DIRECTED DOWNWARD, TYP.

DRAWING RELEASE STATUS	DATE
SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023
PLANNING REVISION	6/1/2023

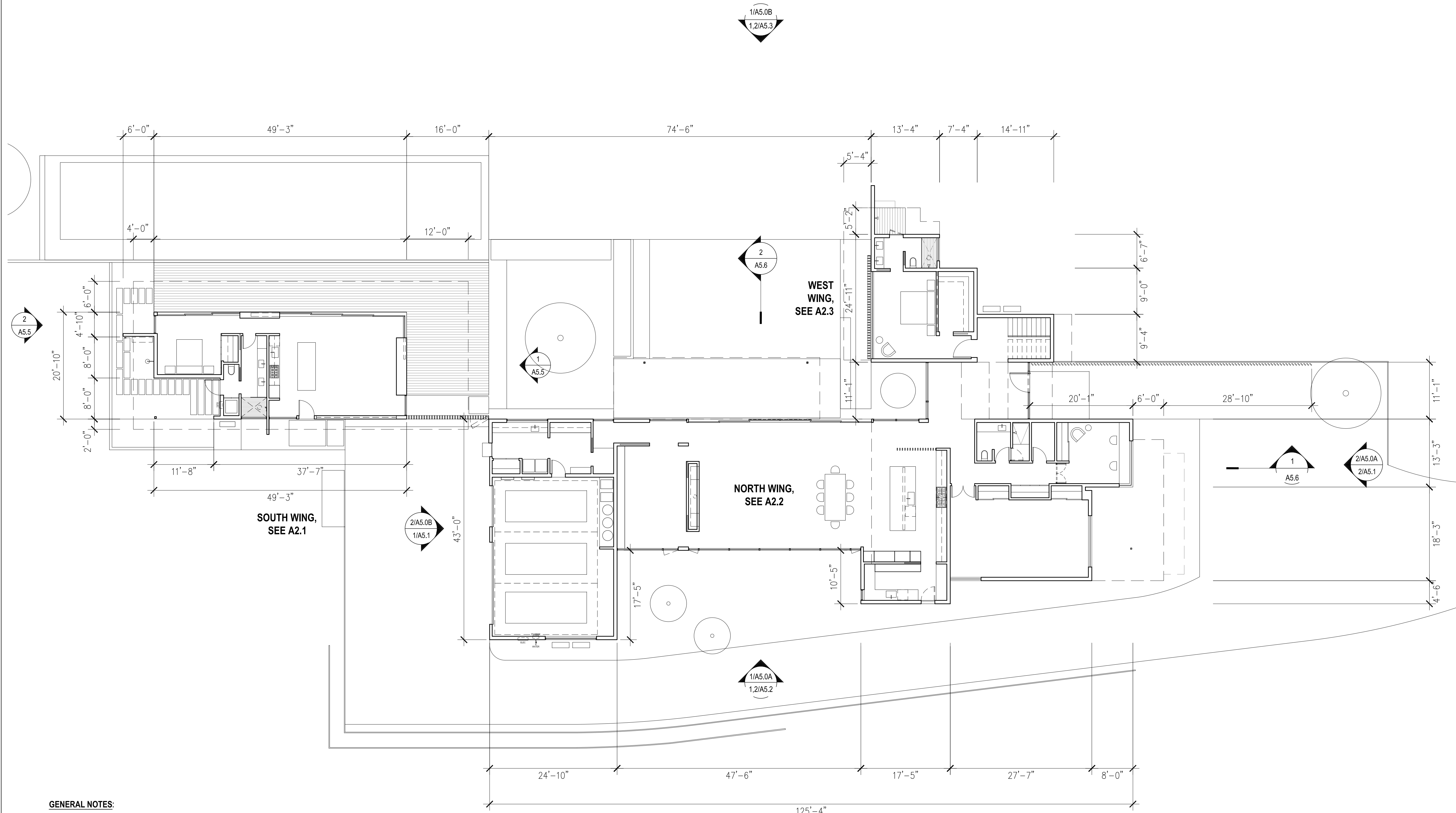
ISSUE	DATE	JOB #
	4/8/2021	202015

SCALE AS NOTED DRAWN BY --
SHEET TITLE

SITE PLAN

SHEET #
A1.1

SITE PLAN 01
1/16" = 1'



GENERAL NOTES:

- 1 SEE A1.1 SITE PLAN FOR SITE & LANDSCAPE INFO, TYP.
- 2 ALL DIMENSIONS ARE MEASURED TO F.O. STUD, TYP.
- 3 SEE A2.1 - A2.4 FOR ENLARGED PLANS & ADDTL INFO.

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW	6/28/2021
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SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

ISSUE

DATE	4/8/2021	JOB #	202015
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SCALE	AS NOTED	DRAWN BY	--
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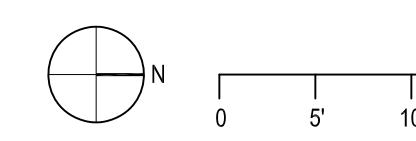
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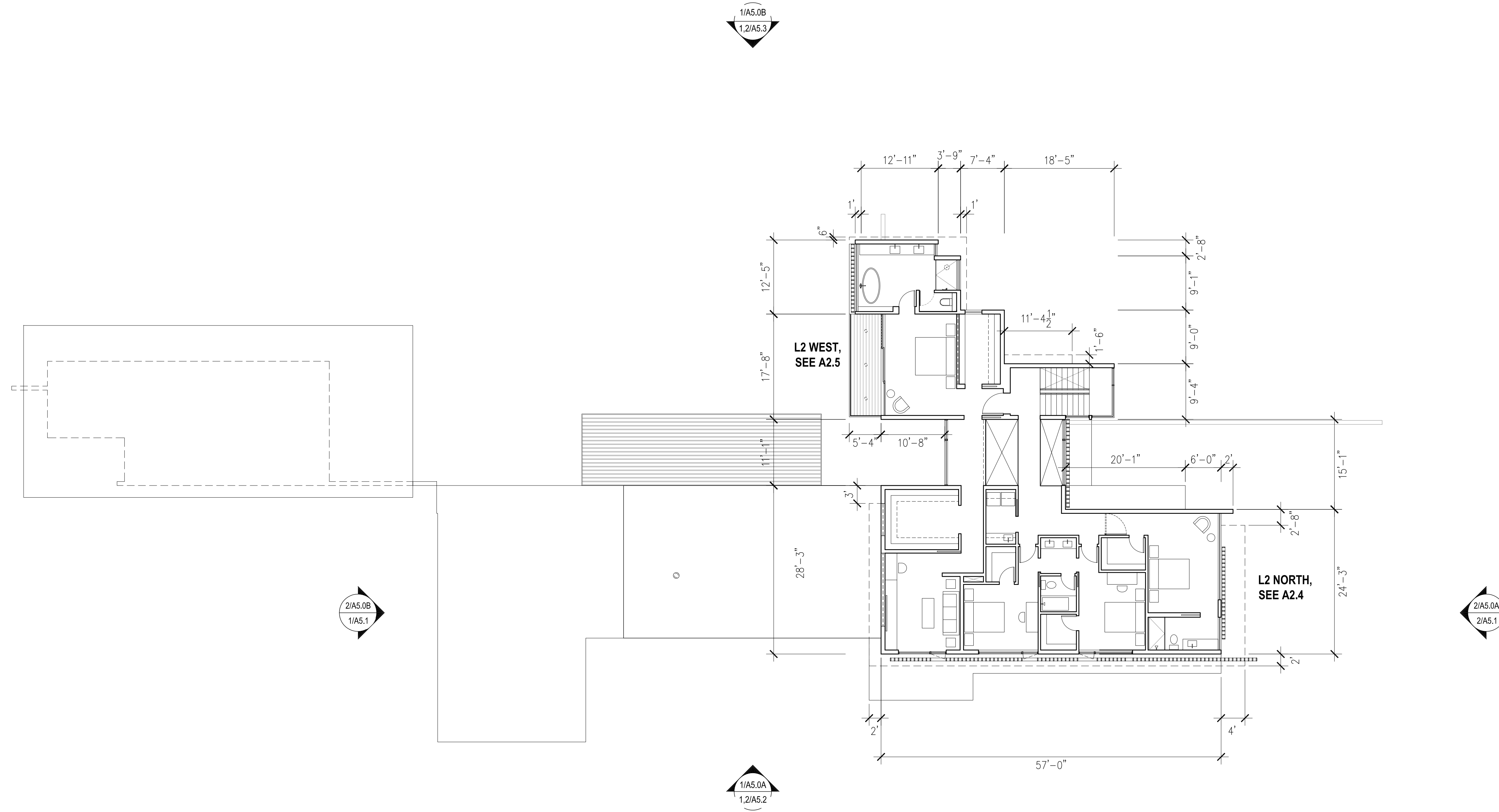
FIRST FLOOR
KEY PLAN

SHEET #

A1.2

FIRST FLOOR KEY PLAN 01
1" = 10'





- GENERAL NOTES:**
 1 SEE A1.1 SITE PLAN FOR SITE & LANDSCAPE INFO, TYP.
 2 ALL DIMENSIONS ARE MEASURED TO F.O. STUD, TYP.
 3 SEE A2.1 - A2.4 FOR ENLARGED PLANS & ADDTL INFO.

DRAWING RELEASE STATUS DATE

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SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

ISSUE --

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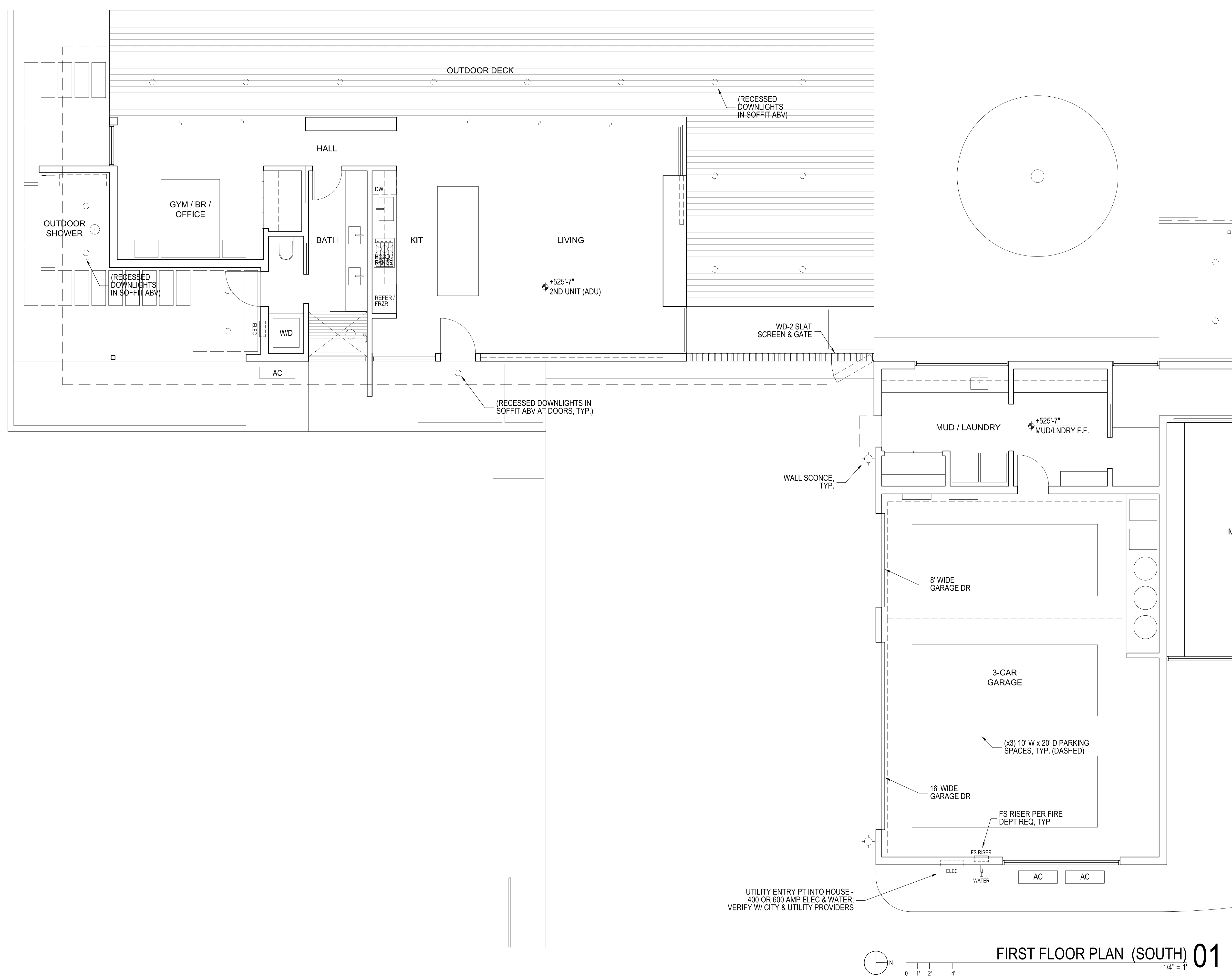
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SHEET TITLE

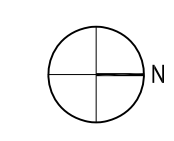
2ND FLOOR
KEY PLAN

SHEET #

A1.3



UTILITY ENTRY PT INTO HOUSE -
400 OR 600 AMP ELEC & WATER -
VERIFY W/ CITY & UTILITY PROVIDERS



0 1' 2' 4'

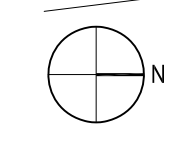
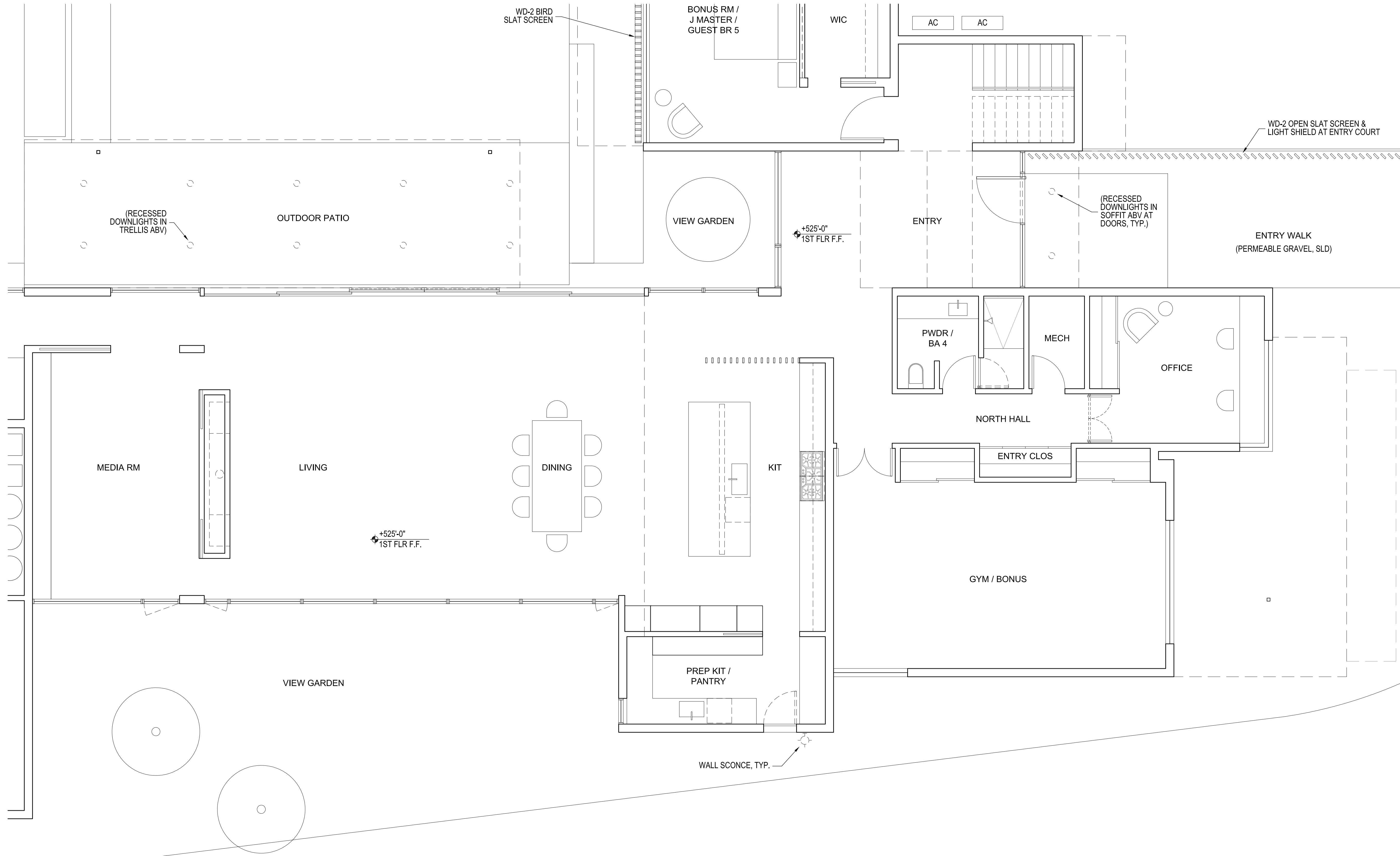
FIRST FLOOR PLAN (SOUTH) 01
1/4" = 1'

DRAWING RELEASE STATUS	DATE
SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

ISSUE	DATE	JOB #
	4/8/2021	202015

SCALE	DRAWN BY
AS NOTED	--

SHEET TITLE
FIRST FLOOR PLAN (SOUTH)
SHEET #
A2.1



FIRST FLOOR PLAN (NORTH) 01
1/4" = 1'

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

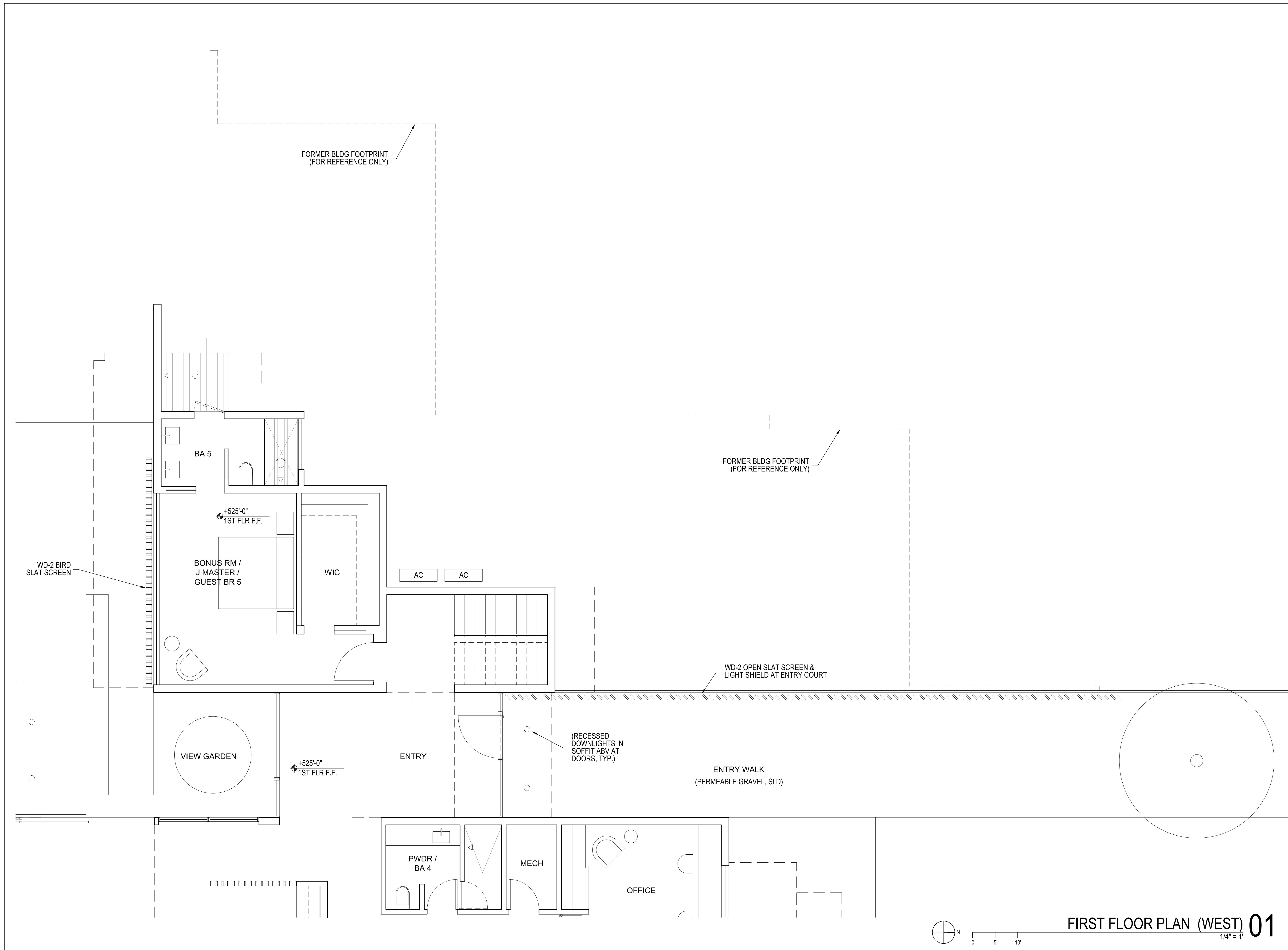
SCALE AS NOTED DRAWN BY --

SHEET TITLE

FIRST FLOOR PLAN
(NORTH)

SHEET #

A2.2



DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

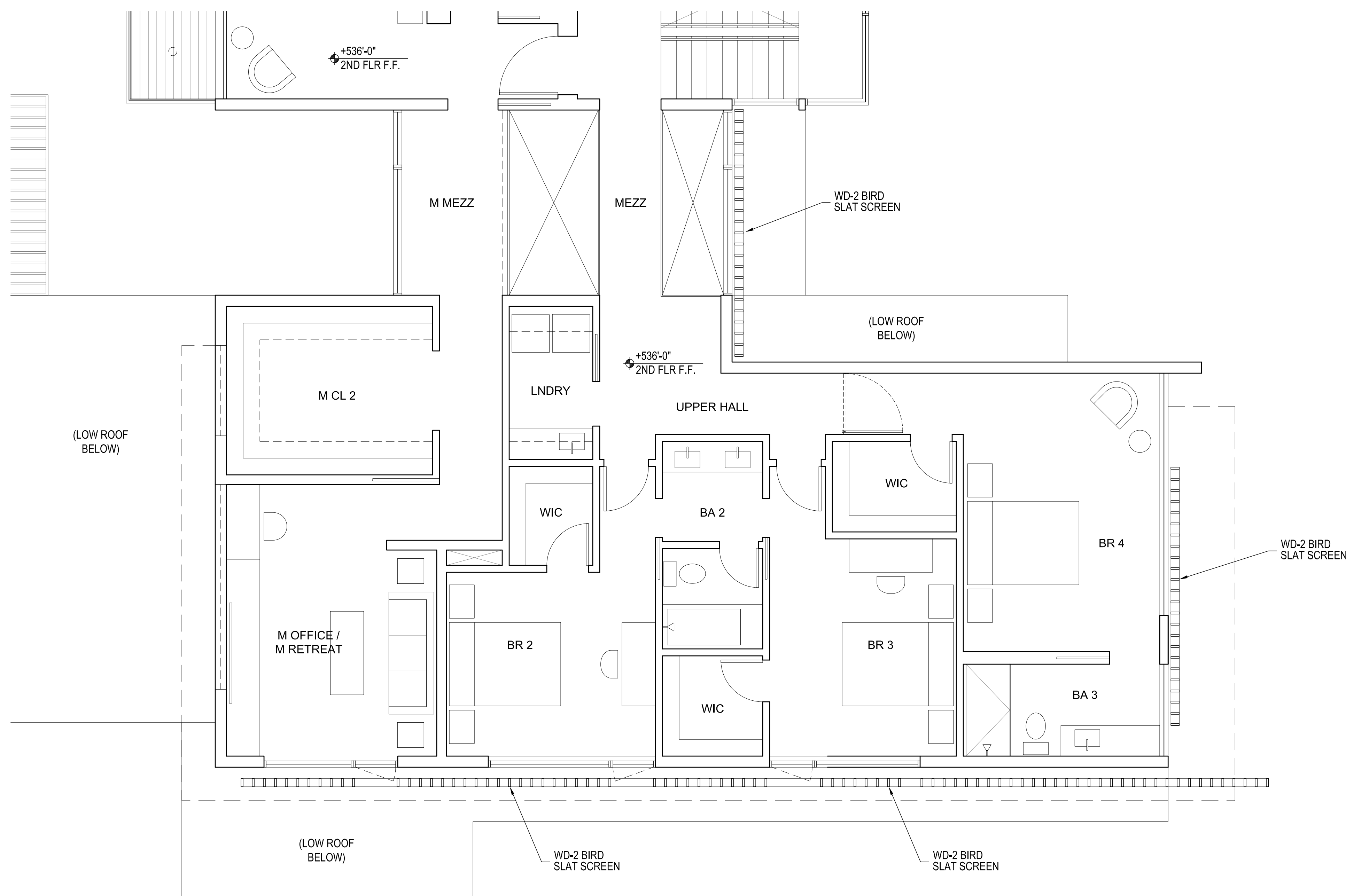
SCALE AS NOTED DRAWN BY --

SHEET TITLE

FIRST FLOOR PLAN (WEST)

SHEET #

A2.3



DRAWING RELEASE STATUS DATE

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SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

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DATE 4/8/2021 JOB # 202015

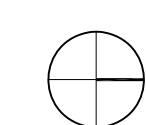
SCALE AS NOTED DRAWN BY --

SHEET TITLE

SECOND FLOOR PLAN
(NORTH)

SHEET #

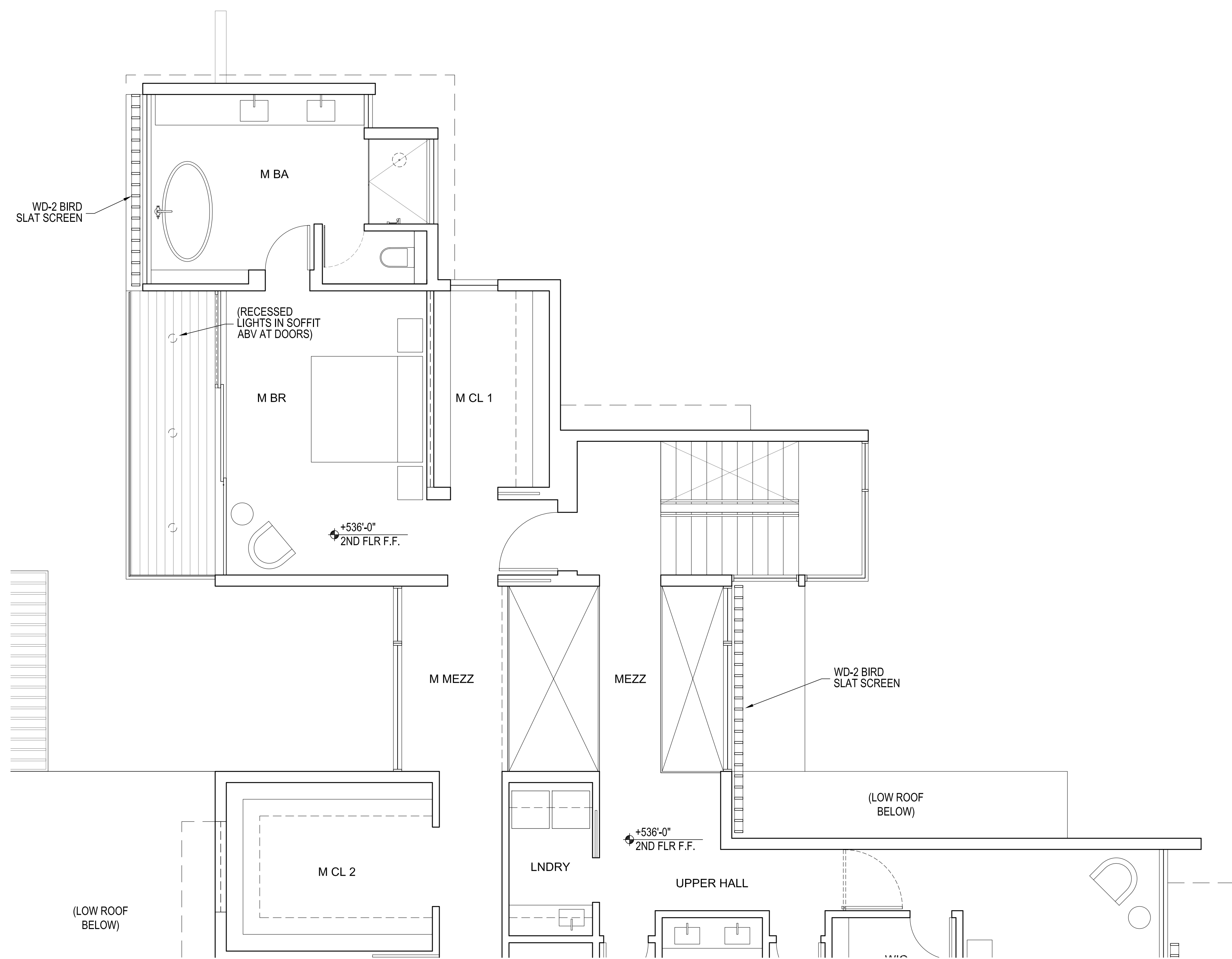
A2.4



0 5' 10'

SECOND FLOOR PLAN (NORTH) 01

1/4" = 1'



DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

SCALE AS NOTED DRAWN BY --

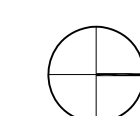
SHEET TITLE

SECOND FLOOR PLAN
(WEST)

SHEET #

A2.5

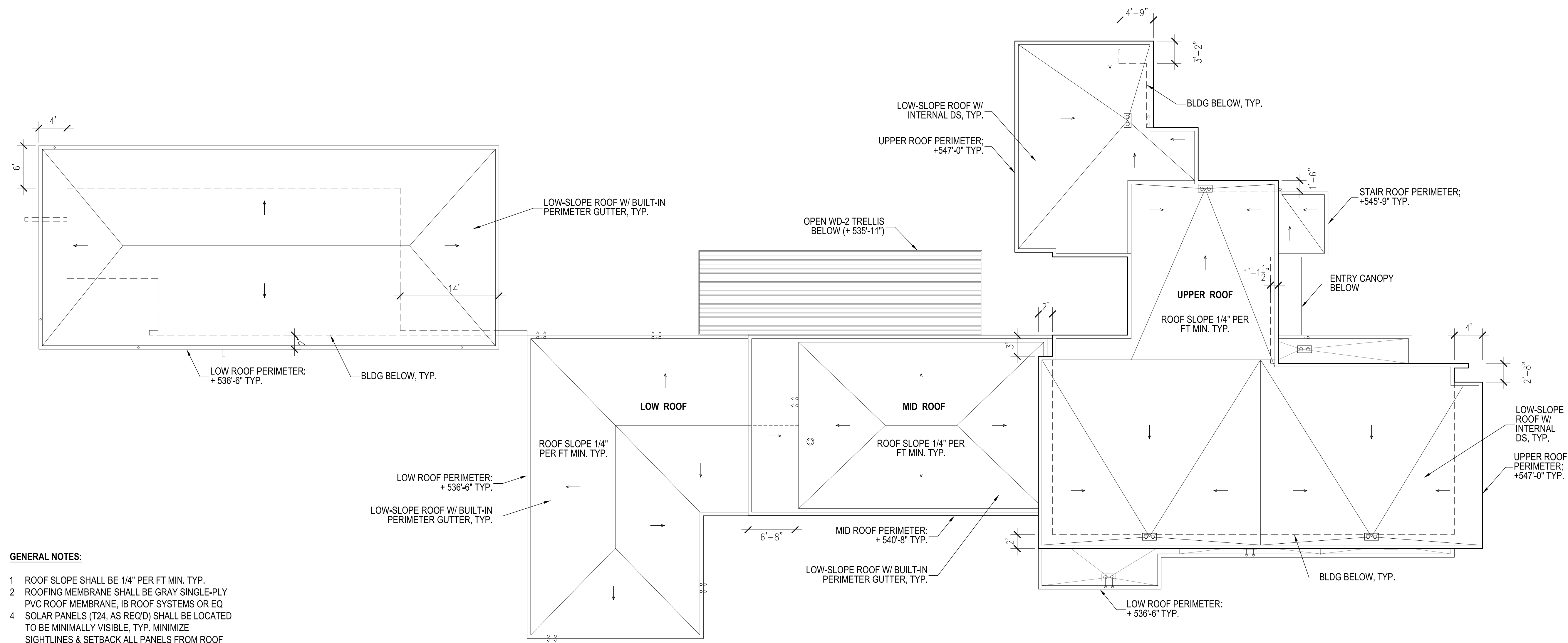
SECOND FLOOR PLAN (WEST) 01



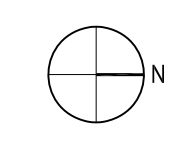
0 5' 10'

1/4" = 1'

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Palo Alto, CA 94304
Private Residence



- GENERAL NOTES:**
- 1 ROOF SLOPE SHALL BE 1/4" PER FT MIN. TYP.
 - 2 ROOFING MEMBRANE SHALL BE GRAY SINGLE-PLY PVC ROOF MEMBRANE, IB ROOF SYSTEMS OR EQ
 - 4 SOLAR PANELS (T24, AS REQ'D) SHALL BE LOCATED TO BE MINIMALLY VISIBLE, TYP. MINIMIZE SIGHTLINES & SETBACK ALL PANELS FROM ROOF EDGES, TYP.



0' 1' 4' 8'
1/8" = 1'

ROOF PLAN 01

DRAWING RELEASE STATUS	DATE
SITE & DESIGN REVIEW	6/28/2021
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SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

DATE	JOB #
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SCALE AS NOTED DRAWN BY --
SHEET TITLE
ROOF PLAN

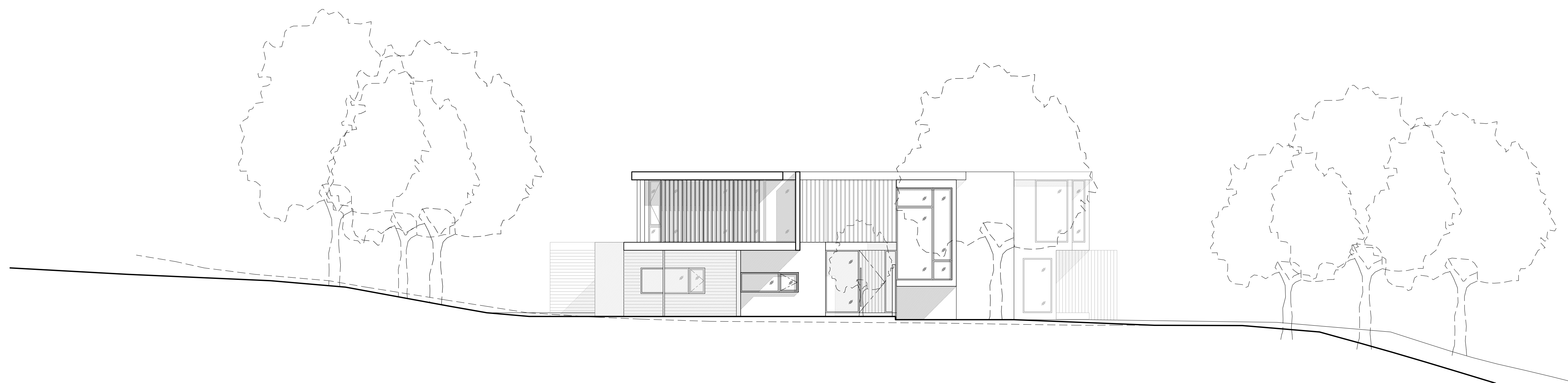
SHEET #
A2.6

lnAI

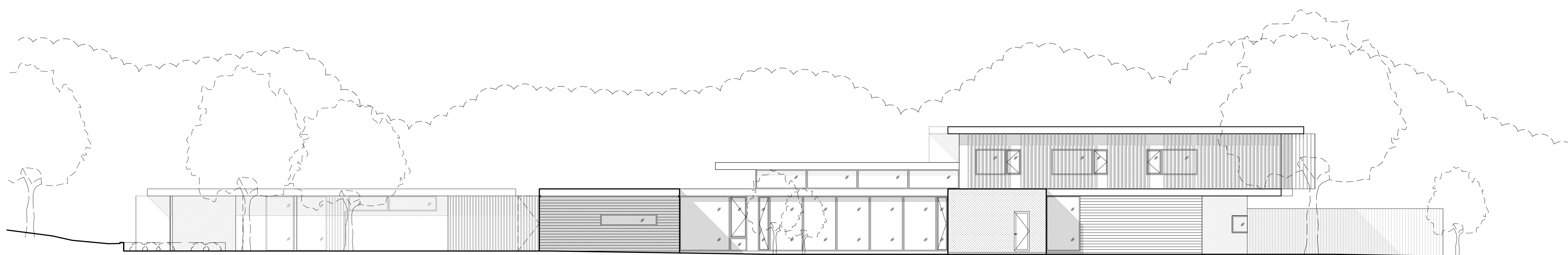
ARCHITECTURE

WWW.LNAI.COM
650.678.4965

575 Los Trancos Road
Palo Alto, CA 94304
Private Residence



PROPOSED SIDE ELEVATION (NORTH) 02
0 5' 10' 1" = 10'



PROPOSED FRONT ELEVATION (EAST) 01
0 5' 10' 1" = 10'

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

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SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

SCALE AS NOTED DRAWN BY --

SHEET TITLE

EXTERIOR
KEY ELEVATIONS

SHEET #

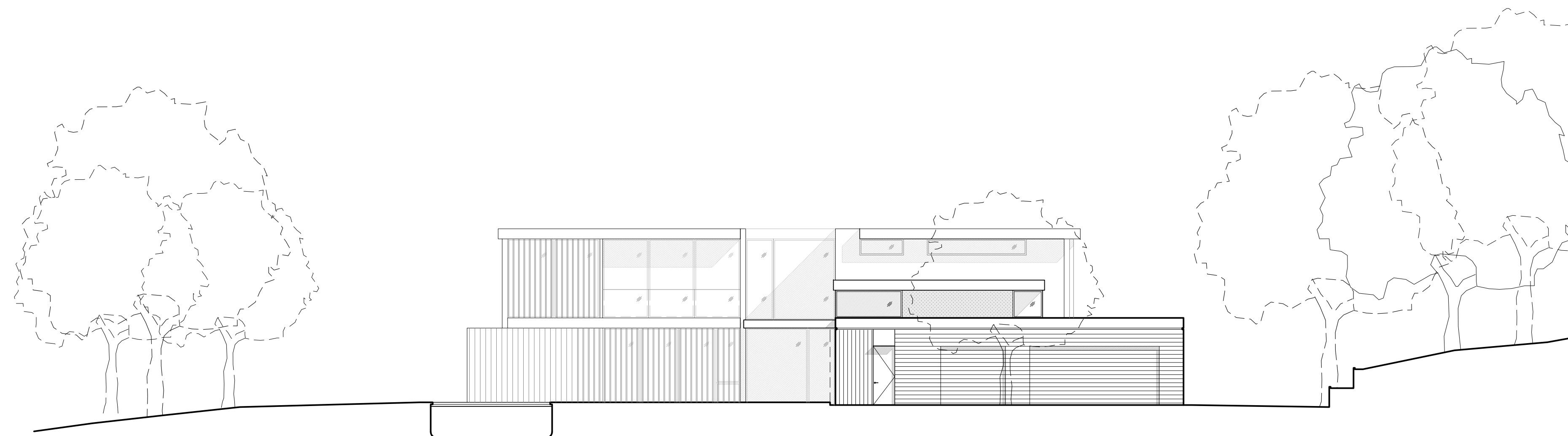
A5.0A

lnAI

ARCHITECTURE

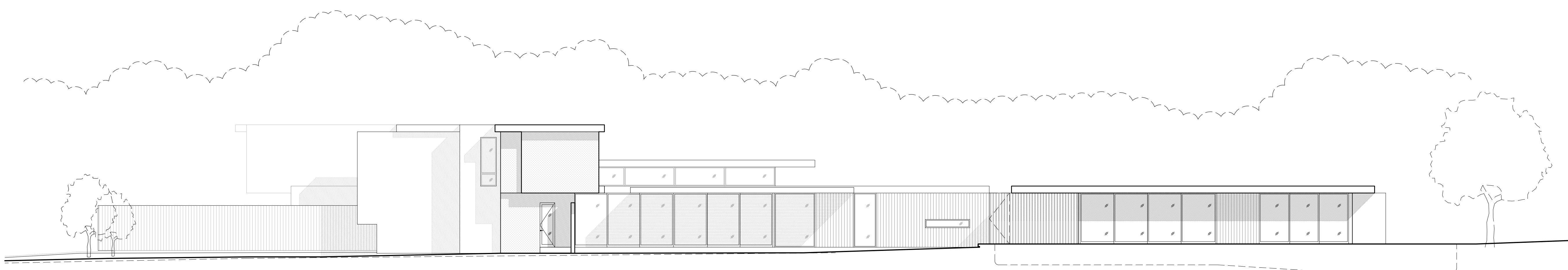
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Palo Alto, CA 94304
Private Residence



PROPOSED SIDE ELEVATION (SOUTH) 02

0 5 10' 1" = 10'



PROPOSED REAR ELEVATION (WEST) 01

0 5 10' 1" = 10'

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

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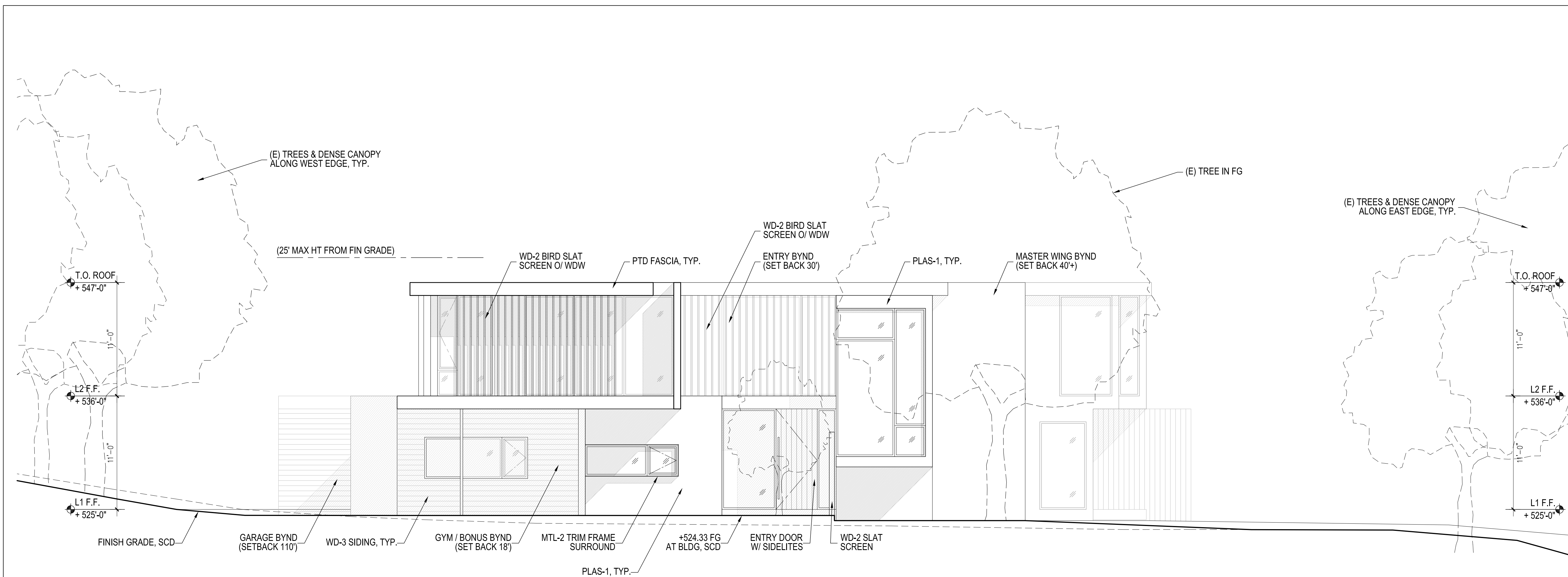
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SHEET TITLE

EXTERIOR
KEY ELEVATIONS

SHEET #

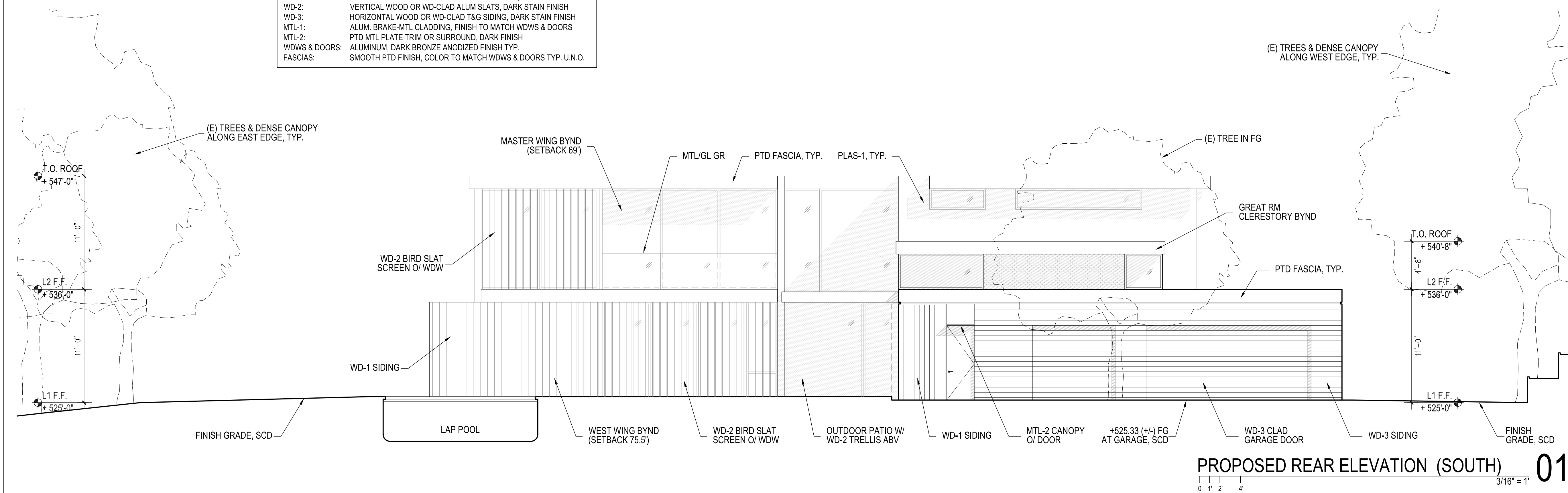
A5.0B



FINISH LEGEND:

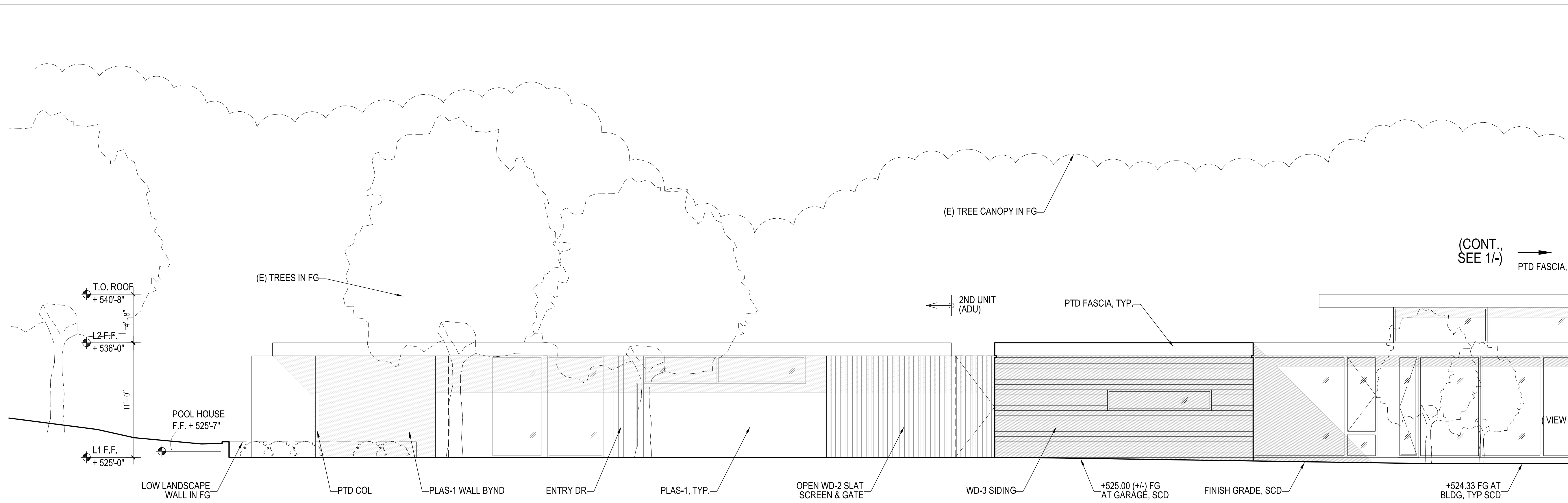
PLAS-1:	CEMENT PLASTER, SMOOTH FINISH; GRAY COLOR TO MATCH CONC-1
WD-1:	VERTICAL WOOD OR WD-CLAD ALUM T&G SIDING, DARK STAIN FINISH
WD-2:	VERTICAL WOOD OR WD-CLAD ALUM SLATS, DARK STAIN FINISH
WD-3:	HORIZONTAL WOOD OR WD-CLAD T&G SIDING, DARK STAIN FINISH
MTL-1:	ALUM. BRAKE-MTL CLADDING, FINISH TO MATCH WDWS & DOORS
MTL-2:	PTD MTL PLATE TRIM OR SURROUND, DARK FINISH
WDWS & DOORS:	ALUMINUM, DARK BRONZE ANODIZED FINISH TYP.
FASCIAS:	SMOOTH PTD FINISH, COLOR TO MATCH WDWS & DOORS TYP. U.N.O.

PROPOSED FRONT ELEVATION (NORTH) **02**
0 1 2 4 3/16" = 1'

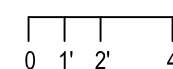


PROPOSED REAR ELEVATION (SOUTH) **01**
0 1 2 4 3/16" = 1'

DRAWING RELEASE STATUS	DATE
SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023
ISSUE	--
DATE	4/8/2021
JOB #	202015
SCALE	AS NOTED
DRAWN BY	--
SHEET TITLE	EXTERIOR ELEVATIONS
SHEET #	A5.1

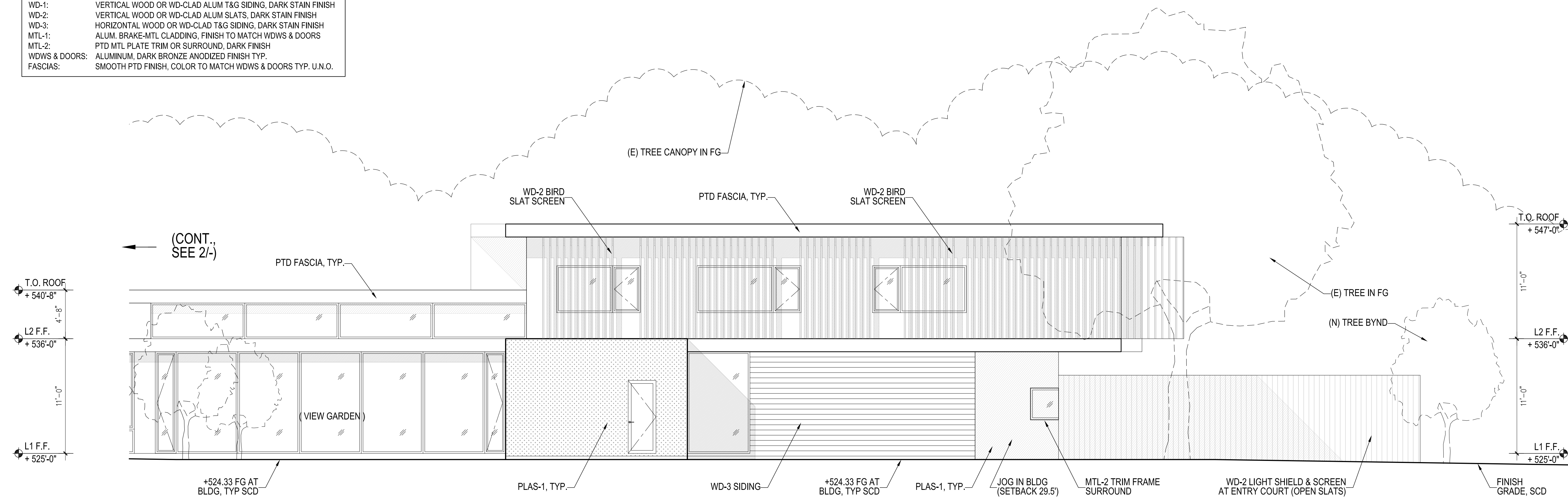


PROPOSED SIDE ELEVATION (EAST) - SOUTH END 02
3/16" = 1'

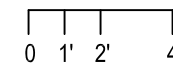


FINISH LEGEND:

PLAS-1:	CEMENT PLASTER, SMOOTH FINISH; GRAY COLOR TO MATCH CONC-1
WD-1:	VERTICAL WOOD OR WD-CLAD ALUM T&G SIDING, DARK STAIN FINISH
WD-2:	VERTICAL WOOD OR WD-CLAD ALUM SLATS, DARK STAIN FINISH
WD-3:	HORIZONTAL WOOD OR WD-CLAD T&G SIDING, DARK STAIN FINISH
MTL-1:	ALUM. BRAKE-MTL CLADDING, FINISH TO MATCH WDWS & DOORS
MTL-2:	PTD MTL PLATE TRIM OR SURROUND, DARK FINISH
WDWS & DOORS:	ALUMINUM, DARK BRONZE ANODIZED FINISH TYP.
FASCIAS:	SMOOTH PTD FINISH, COLOR TO MATCH WDWS & DOORS TYP. U.N.O.



PROPOSED SIDE ELEVATION (EAST) - NORTH END 01
3/16" = 1'

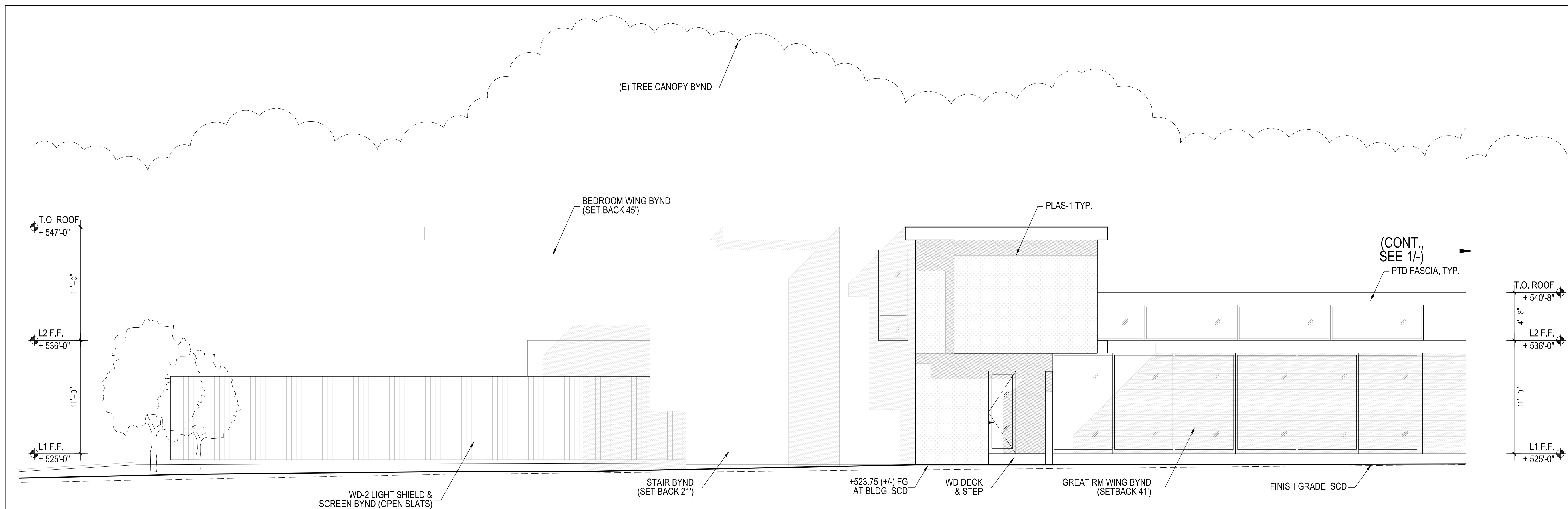


DRAWING RELEASE STATUS	DATE
SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

DATE	JOB #
4/8/2021	202015

SCALE	DRAWN BY
AS NOTED	--

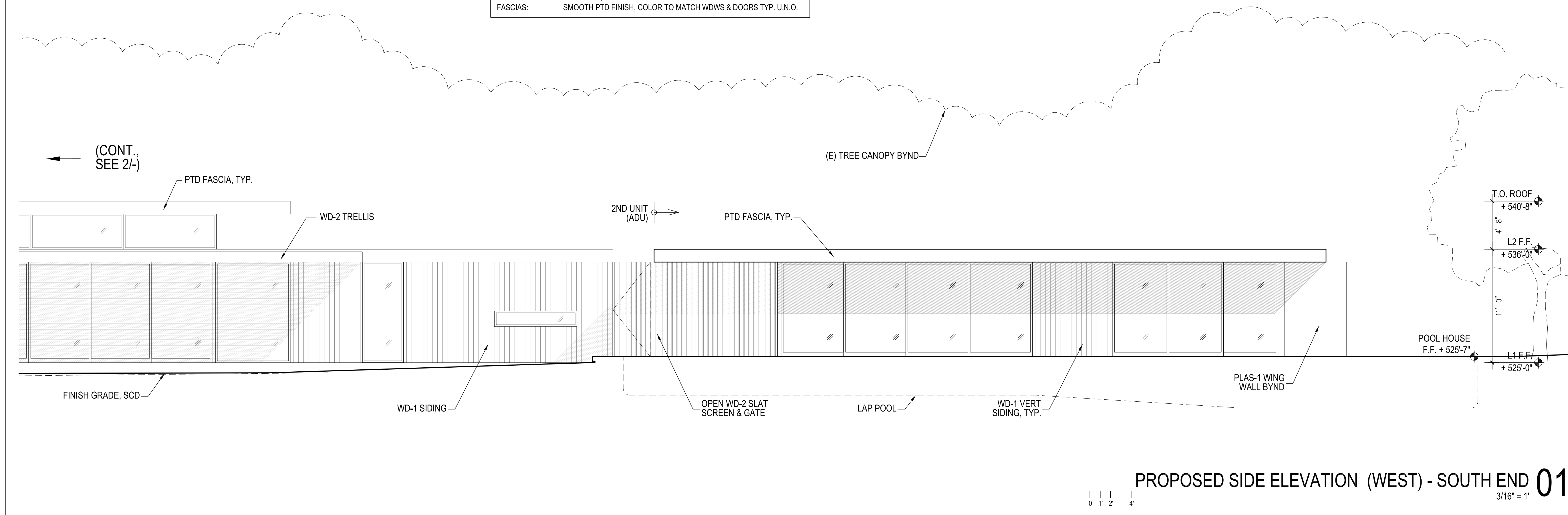
SHEET TITLE
EXTERIOR ELEVATIONS
SHEET #
A5.2



FINISH LEGEND:

PLAS-1:	CEMENT PLASTER, SMOOTH FINISH; GRAY COLOR TO MATCH CONC-1
WD-1:	VERTICAL WOOD OR WD-CLAD ALUM T&G SIDING, DARK STAIN FINISH
WD-2:	VERTICAL WOOD OR WD-CLAD ALUM SLATS, DARK STAIN FINISH
WD-3:	HORIZONTAL WOOD OR WD-CLAD T&G SIDING, DARK STAIN FINISH
MTL-1:	ALUM. BRAKE-MTL CLADDING, FINISH TO MATCH WDWS & DOORS
MTL-2:	PTD MTL PLATE TRIM OR SURROUND, DARK FINISH
WDWS & DOORS:	ALUMINUM, DARK BRONZE ANODIZED FINISH TYP.
FASCIAS:	SMOOTH PTD FINISH, COLOR TO MATCH WDWS & DOORS TYP, U.N.O.

PROPOSED SIDE ELEVATION (WEST) - NORTH END 02
3/16" = 1'



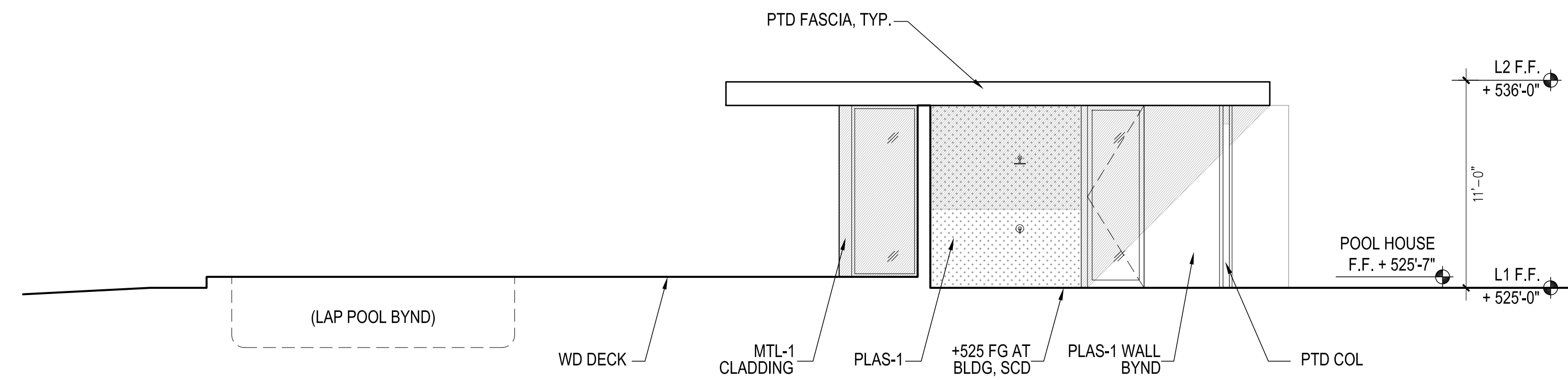
PROPOSED SIDE ELEVATION (WEST) - SOUTH END 01
3/16" = 1'

DRAWING RELEASE STATUS	DATE
SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

DATE	JOB #
4/8/2021	202015

ISSUE: --
SCALE: AS NOTED
DRAWN BY: --

SHEET TITLE: EXTERIOR ELEVATIONS
SHEET #: A5.3

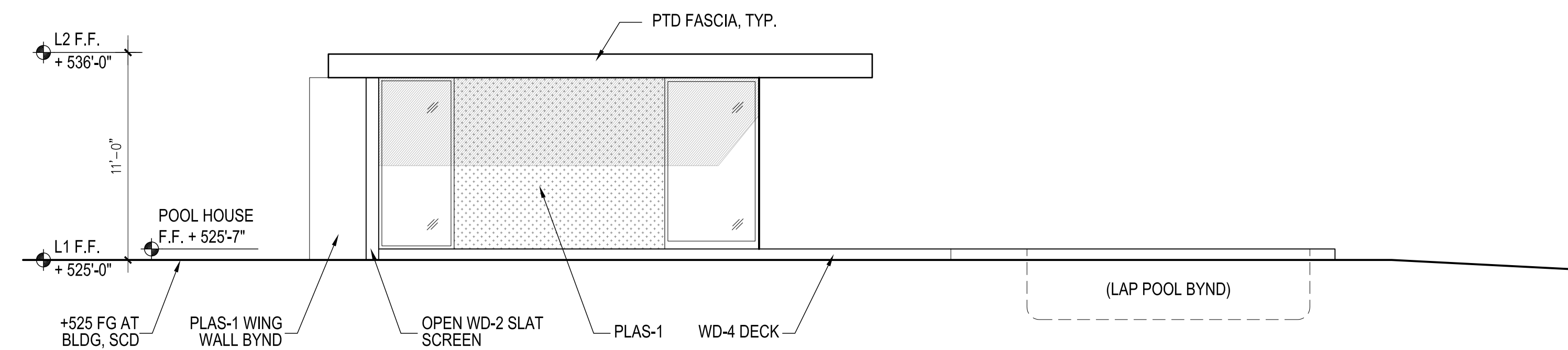


2ND UNIT (ADU) - PROPOSED SOUTH ELEVATION 02

0 1' 2' 4' 3/16" = 1'

FINISH LEGEND:

PLAS-1:	CEMENT PLASTER, SMOOTH FINISH; GRAY COLOR TO MATCH CONC-1
WD-1:	VERTICAL WOOD OR WD-CLAD ALUM T&G SIDING, DARK STAIN FINISH
WD-2:	VERTICAL WOOD OR WD-CLAD ALUM SLATS, DARK STAIN FINISH
WD-3:	HORIZONTAL WOOD OR WD-CLAD T&G SIDING, DARK STAIN FINISH
MTL-1:	ALUM. BRAKE-MTL CLADDING, FINISH TO MATCH WDWS & DOORS
MTL-2:	PTD MTL PLATE TRIM OR SURROUND, DARK FINISH
WDWS & DOORS:	ALUMINUM, DARK BRONZE ANODIZED FINISH TYP.
FASCIAS:	SMOOTH PTD FINISH, COLOR TO MATCH WDWS & DOORS TYP. U.N.O.



2ND UNIT (ADU) - PROPOSED NORTH ELEVATION 01

0 1' 2' 4' 3/16" = 1'

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW	6/28/2021
SITE & DESIGN REVISION	8/24/2021
SITE & DESIGN REVISION	10/1/2021
COUNCIL REVISION	3/10/2023

ISSUE --

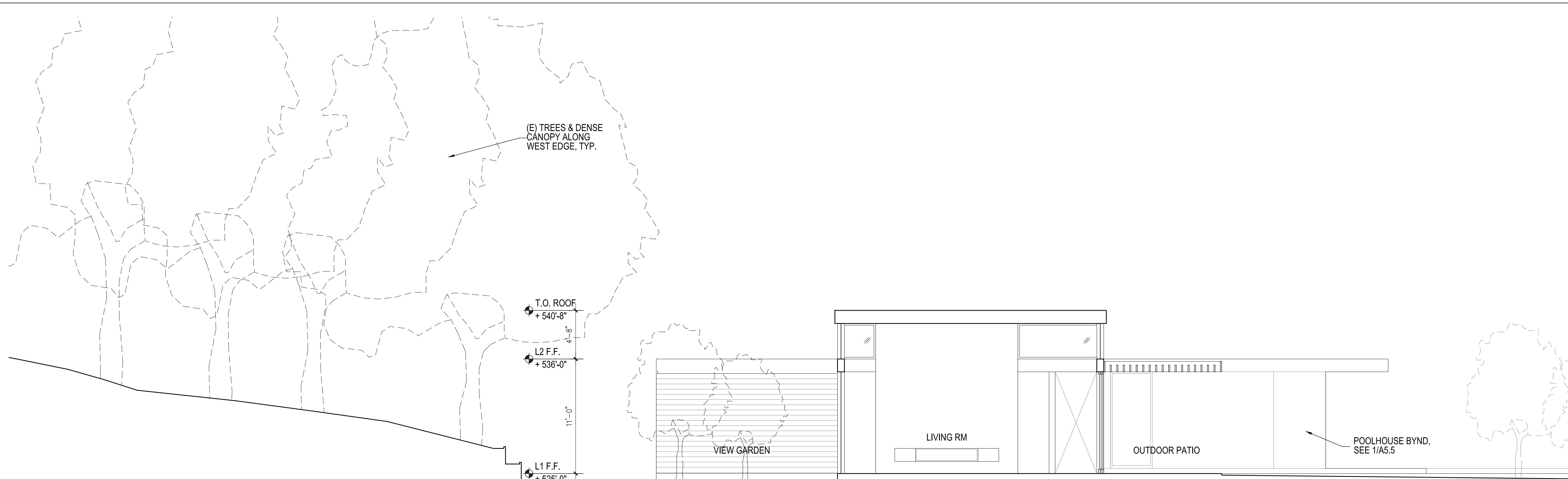
DATE	4/8/2021	JOB #	202015
SCALE	AS NOTED	DRAWN BY	--

SHEET TITLE

EXTERIOR
ELEVATIONS-
2ND UNIT

SHEET #

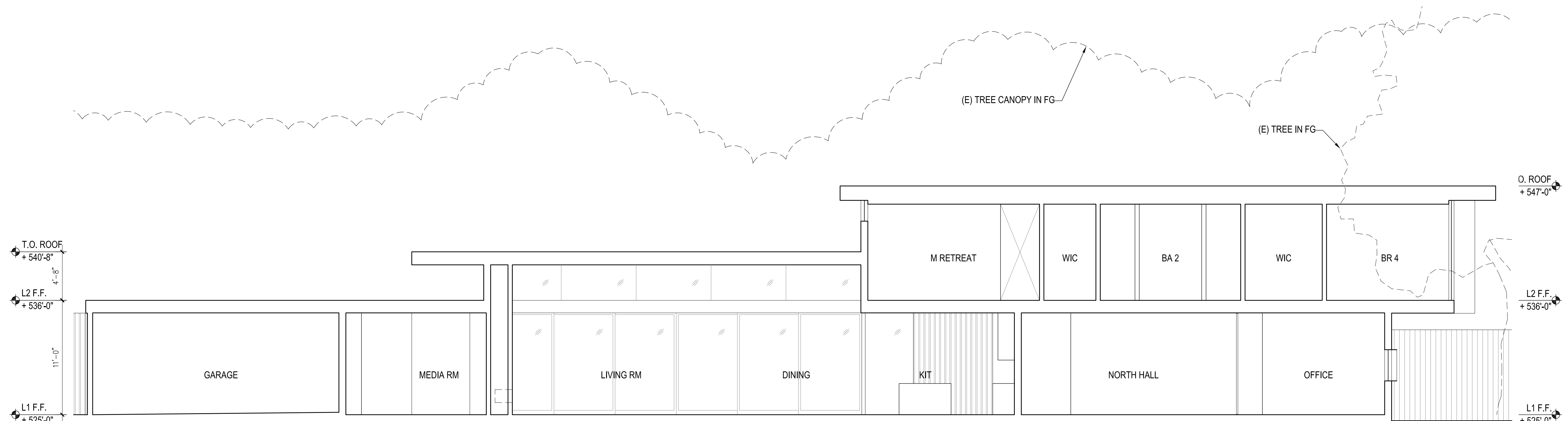
A5.5



SECTION THROUGH GREAT RM (LOOKING SOUTH) 02

0 1' 2' 4'

3/16" = 1'



SECTION THROUGH GREAT RM (LOOKING WEST) 01

0 1' 2' 4'

3/16" = 1'

DRAWING RELEASE STATUS DATE

SITE & DESIGN REVIEW 6/28/2021

SITE & DESIGN REVISION 8/24/2021

SITE & DESIGN REVISION 10/1/2021

COUNCIL REVISION 3/10/2023

ISSUE --

DATE 4/8/2021 JOB # 202015

SCALE AS NOTED DRAWN BY --

SHEET TITLE

BUILDING
SECTIONS

SHEET #

A5.6

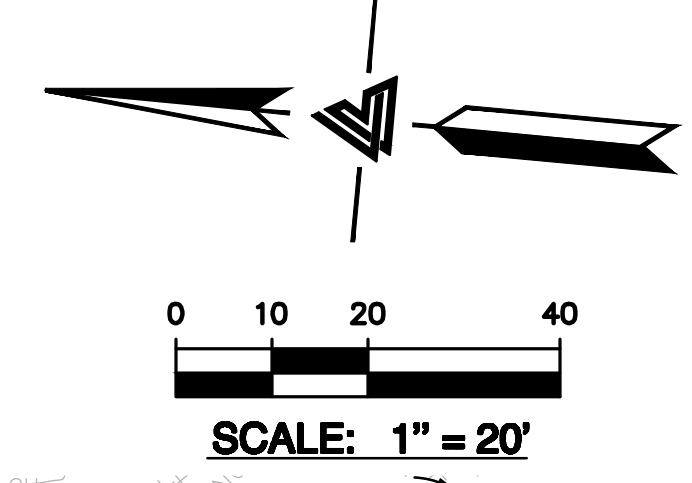
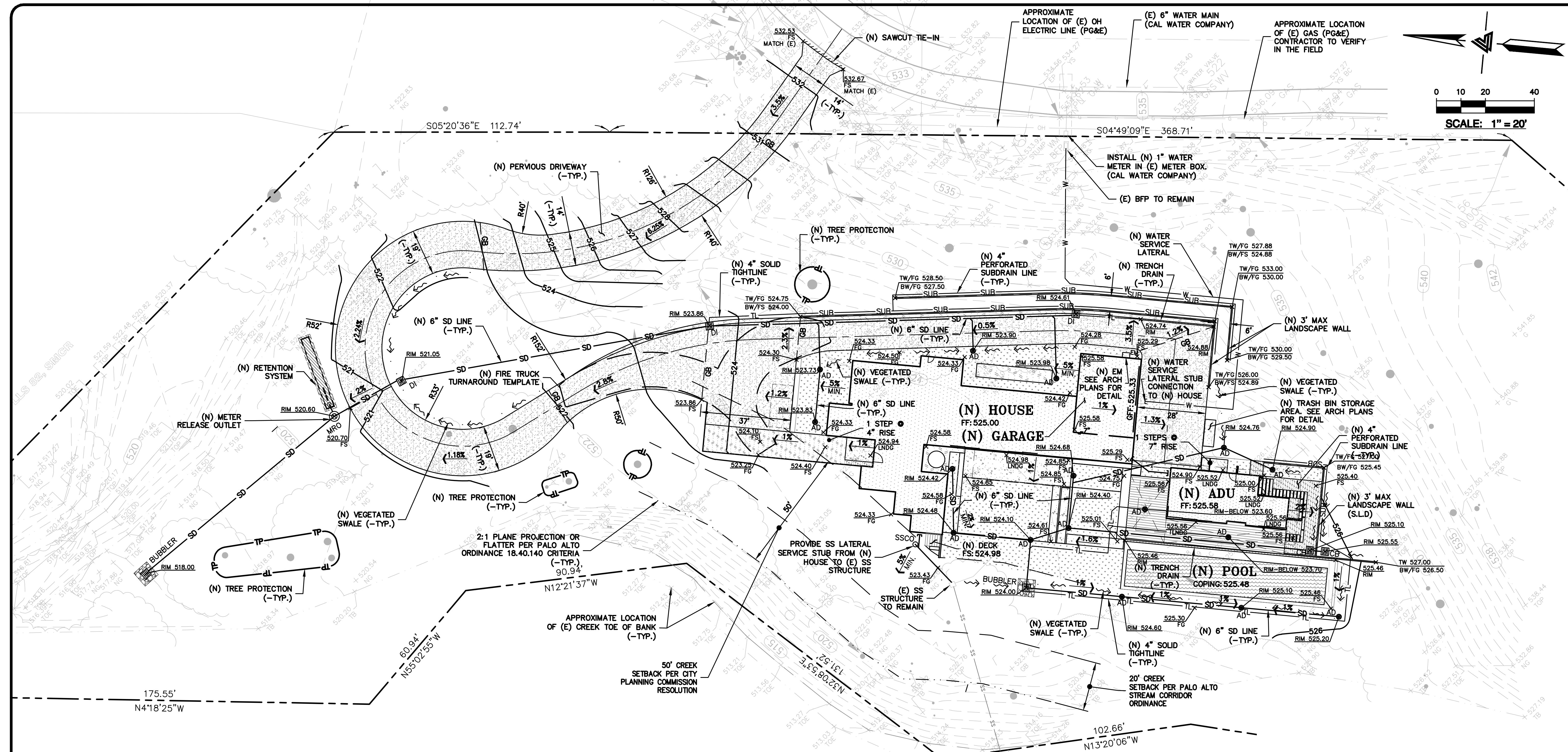


LEA & BRAZE ENGINEERING, INC.
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 (510) 887-4086
 WWW.LEABRAZE.COM

**575 LOS TRANCOS ROAD
 PALO ALTO, CALIFORNIA**
 APN: 182-48-012
 SAN MATEO COUNTY

**PRELIMINARY GRADING
 & DRAINAGE PLAN**

CITY COMMENTS	JV
1 CITY COMMENTS 8-18-21	JV
2 CITY COMMENTS 9-24-21	AV
PLANNING UPDATE 03-09-23	AV
REVISIONS	BY
JOB NO: 2210427	
DATE: 6-28-21	
SCALE: AS NOTED	
DESIGN BY: MH	
CHECKED BY: JC	
SHEET NO:	



LEGEND

PROPOSED	DESCRIPTION
[Pattern: Dotted]	(N) HOUSE/GARAGE/ADU
[Pattern: Horizontal Lines]	(N) CONCRETE PAVEMENT
[Pattern: Vertical Lines]	(N) PERVIOUS PAVEMENT
[Pattern: Diagonal Lines]	(N) PLANTING AREA
[Pattern: Stippled]	(N) DECOMPOSED GRANITE (PERMEABLE) SEE LANDSCAPE PLANS FOR DETAIL
[Pattern: Horizontal Lines]	(N) DECK SEE ARCHITECTURAL AND STRUCTURAL PLANS FOR DETAILS
[Pattern: Grid]	(N) POOL SEE ARCHITECTURAL PLANS FOR DETAILS
[Symbol: Circle with 'X']	TREE PROTECTION
[Symbol: Dashed Line]	COLD MILL (E) AC PAVEMENT TO PROVIDE TIE IN