

# Planning & Transportation Commission Staff Report (ID # 8773)

Report Type:	Study Session Meeting Date: 1/10/2018
Summary Title:	Update on Accessory Dwelling Unit Ordinance Implementation
Title:	Study Session to Review the Accessory Dwelling Unit Ordinance Implementation and Discuss Potential Future Amendments
From:	Hillary Gitelman

# Recommendation

Staff recommends that the Planning and Transportation Commission (PTC) conduct a Study Session to review the implementation of the Accessory Dwelling Unit Ordinance and provide comments on potential amendments that may be incorporated into a revised ordinance.

# **Report Summary**

At its December 13, 2017 meeting the PTC began a discussion on the city's accessory dwelling unit ordinance. That discussion was continued to the next meeting.

The purpose of this study session is to:

- 1. Present information regarding the city's implementation of the ADU program since the beginning of the year when new state regulations took effect.
- 2. Identify some implementation challenges that apply to property specific conditions that are not addressed in the code and receive PTC feedback on discrete legislative changes to fine tune the ordinance
- 3. Present two additional topics that the Council requested additional information on how to address related to permitting illegally established ADUs and incentivizing income restricted rental of ADUs.

Staff anticipates returning to the commission with an updated ordinance that addresses the discrete issues in the Spring.

Attached is the December 13, 2017 staff report with additional information.

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#### Attachments:

• Attachment A: December 13, 2017 PTC ADU Staff Report with Attachments (PDF)

<sup>1</sup> Emails may be sent directly to the PTC using the following address: <u>planning.commission@cityofpaloalto.org</u>

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# Planning & Transportation Commission Staff Report (ID # 8607)

Report Type:	Study Session Meeting Date: 12/13/2017
Summary Title:	Update on Accessory Dwelling Unit Ordinance Implementation
Title:	Study Session to Review the Accessory Dwelling Unit Ordinance Implementation and Discuss Potential Future Amendments
From:	Hillary Gitelman

# Recommendation

Staff recommends that the Planning and Transportation Commission (PTC) conduct a Study Session to review the implementation of the Accessory Dwelling Unit Ordinance and provide comments on potential amendments that may be incorporated into a revised ordinance.

# **Report Summary**

On May 8, 2017, City Council adopted <u>Ordinance No. 5412</u> amending Title 18 (Zoning) of the Palo Alto Municipal Code to implement the new state requirements related to Accessory Dwelling Units (ADU). These new regulations have eased the development requirements for ADUs for property owners and support the creation of additional, more affordable, housing units. This report provides a summary of the ADU development activity; identifies implementation challenges and recommended changes; considers Council direction to make ADUs available to low and moderate households and addressing illegally established ADUs; and, reviews updated state law taking effect in 2018. The purpose of this item is to get PTC feedback on changes or refinements needed for an updated ADU ordinance.

# Background

In October 2015, the City Council approved a Colleagues Memo that directed the PTC to review the Palo Alto Municipal Code (PAMC) related to ADUs and recommend strategies to increase production of these units. Following this, the PTC conducted two Study Sessions in January and July 2017 (reports <u>#6462</u> & <u>#6944</u>), just prior to the State of California adopting ADU and Junior

City of Palo Alto Planning & Community Environment 250 Hamilton Avenue Palo Alto, CA 94301 (650) 329-2442 ADU<sup>1</sup> (JADU) legislation in September 2016. In response to the new state ADU regulations, the City prepared a draft ordinance to incorporate the mandatory state requirements and some optional provisions with the existing local regulations. The PTC reviewed the ordinance on November 30, 2016 (report <u>#7368</u>) and made recommendations. In March 2017, the City Council held its first public hearing on ADUs (report <u>#7517</u>) and discussed in-depth the ordinance, making substantial revisions. On April 17, 2017, the Council adopted the ADU ordinance (Attachment A) with further refinements (report <u>#7921</u> & <u>#8048</u>), which became effective on June 8, 2017. The City Council also directed staff to provide a <u>quarterly report</u> on ADU permits and to conduct a Study Session with the PTC to analyze the results of the ordinance.

Prior to the implementation of the City's ADU ordinance, the state regulations that became effective on January 1, 2017 governed all ADU permit applications submitted for review in the City. Once the City's ordinance became effective on June 8, 2017, all ADU permit applications not already approved were subject to the new local regulations.

# Key Standards Incorporated into City's Ordinance

The City's ADU ordinance consolidated all development requirements for these types of units into one section of the Zoning Code, PAMC Section <u>18.42.030</u>. The standards listed below represent the key provisions of the current ordinance:

- Minimum lot size requirement of 5,000 square feet
- No parking requirements (for ADUs & JADUs)
- Detached ADUs allowed in rear yard
- Garage conversions allowed with required displaced parking allowed to be uncovered
- Attached ADUs may be 600 square feet; detached ADUs 900 square feet
- Additional lot coverage and floor area provided under certain circumstances
- JADUs allowed

# ADU Permit Activity

On average, prior to the 2017 changes in the ADU regulations, the City approved four ADU units a year.<sup>2</sup> Since the beginning of this year, the City has approved nine ADU permits; there are 14 other permits still under review. No JADU permit applications have been submitted yet. The average ADU unit size is 565 sq. ft. and the majority of units (80%) are detached from the primary home.

# Discussion

Since the adoption of the state and local ADU regulations, there has been interest expressed by the community regarding these changes, including the implications for possible negative

<sup>&</sup>lt;sup>1</sup> The establishment of Junior Accessory Dwelling Units (JADU) as a permitted use was not required by state law and was left to the discretion of the local jurisdiction. With the local adoption of the ADU regulations in April 2017, the City Council allowed for these smaller JADU units in Palo Alto.

<sup>&</sup>lt;sup>2</sup> Development data based on 2015-2023 Housing Element.

impacts, as well as potential development possibilities. The City has received increased requests for information on ADUs at the public information counter and via email and phone calls. Staff has set up a webpage (http://cityofpaloalto.org/gov/depts/pln/advance/accessory dwelling units regulations updat e.asp ) and an email address dedicated to ADU questions (ADUOrd@CityofPaloAlto.org ). City staff also participated in a couple of events hosted by others in the community.

From the various interactions mentioned above, and in reviewing ADU building permits, staff has identified some implementation challenges not anticipated when drafting the ordinance. It should be noted that the local ADU regulations have been in place for a short time, barely six months. As more time passes and more projects are reviewed, staff will be able to provide additional feedback and analysis of the ADU provisions.

# A. Refine the Definition for ADUs

There has been confusion on the part of some staff and applicants as to which ADU regulations apply to certain ADU units. The term "conversion," in particular, has been a source of misunderstandings when applying the code. Staff recommends updating the definition to better describe the different unit types to reduce this confusion, and update the code section accordingly with these terms. The unit type definitions being considered are as follows:

- "Attached ADU" means an ADU that is constructed as a new addition to a single-family dwelling which may include a remodeled portion of the existing home.
- "Detached ADU" means an ADU that is constructed as a physically independent structure separate from the primary single-family dwelling unit and may be a new structure, an addition to an existing accessory structure, or include both new construction together with the remodeled area of the existing structure.
- "Interior ADU" means an ADU that is located entirely within the existing building envelope of the primary single-family dwelling unit or accessory structure. For the purposes of this definition, existing structures are those legally constructed and completed on or before January 1, 2017. [These units are currently referred to as Conversions, as described in Section 18.42.040(a)(5)]

For consistency and clarity, the staff report discussion that follows utilizes the above listed terminology when referring to specific ADU unit types.

# B. Bonus Lot Coverage and Floor Area for Attached and Detached ADUs

The general intent of providing bonus lot coverage and floor area is to give some development flexibility for existing developed sites that may be at or near the related maximums allowed. With these bonus provisions, the additional lot coverage needed for an attached or detached ADU would be 100% exempt, and up to an additional 175 sq. ft. of floor area would be allowed. Below is the specific language from the code:

## 18.42.040(a)(4) Lot Coverage/FAR

A. An accessory dwelling unit shall be included in the lot coverage and FAR requirements applicable to the parcel.

B. Exceptions:

i. Lot Coverage. When the development of an accessory dwelling unit on a parcel with an existing single family residence would result in the parcel exceeding the lot coverage requirement, the accessory dwelling unit shall not be included in the calculation of lot coverage applicable to the property, so long as the parcel meets the underlying zoning district's minimum lot size requirement or is substandard by no more than ten percent (10%) of the underlying zoning district's minimum lot size requirement.

ii. Basement FAR. In the R-1 district and all R-1 subdistricts, basement space used as an accessory dwelling unit, or portion thereof, shall not be included in the calculation of floor area for the entire site, providing the measurement from first finished floor to grade around the perimeter of the building is no more than three (3) feet.

iii. FAR. When the development of a new one-story accessory dwelling unit on a parcel with an existing single family residence would result in the parcel exceeding the maximum floor area, an additional 175 square feet of floor area above the maximum amount of floor area otherwise permitted by the underlying zoning district shall be allowed. This additional area shall be permitted only to accommodate the development of the accessory dwelling unit.

The code specifically states that these bonuses are given when development of an ADU is on a site "with an existing single-family residence." The scenario that staff has encountered is that property owners who are building completely new homes also want to take advantage of these bonuses. As the code is currently written, these bonuses do not apply to newly proposed homes. Staff is looking for input from the PTC as to whether this should be changed in the code. Some options to consider:

- 1. Leave code as is to apply to existing homes. Applicants can obtain the bonus/es by phasing the development on the site by building the home first and then coming back after for the permits for the ADU.
- 2. Modify the code to specifically allow the bonuses for any ADU development, whether in conjunction with the new or existing home.
- 3. Restrict bonuses only to existing homes that are existing as of a specific date, i.e., the effective date of the ordinance.

#### C. Basements in ADUs

For single-family development in the R-1 zone, basements are permitted and are generally not counted towards the site's allowable floor area. The current ADU code is clear that an ADU may be located in the basement level of the primary home, but it is less clear about allowing a basement as part of a ground floor ADU unit. Staff believes it was the intent of the ordinance to

permit ADU basements in attached or detached structures and recommends clarifying the code to reflect this provision. Since detached ADUs can be six feet from the side and rear property lines, this provision would introduce basements in sideyards, which is not something that is allowed for primary single family residences. For both situations, basements may not extend beyond the building footprint.

# D. Replacement of Noncomplying Structures

Staff have encountered ADU proposals that included the conversion of existing non-habitable space (e.g. garage, accessory building, etc.) that had a legal noncomplying element, such as a setback encroachment; and these types of conversions are permitted with the ADU regulations.

The issue that has emerged is that during the permit review process, it comes to light that the legal noncomplying structure is not structurally sound and cannot be converted to an ADU, as is. To be code compliant, the noncomplying structure must be demolished and rebuilt. The general rule is that once a legal noncomplying structure is removed, all new construction must be code compliant (Section <u>18.70.100</u>(b) Noncomplying facility – Replacement).

The intent of the ADU code was to allow the conversion of existing structures to create living units, including the conversion of legal noncomplying structures. But, the circumstance of requiring existing non-complying structures to be rebuilt (retaining the non-compliance) to accommodate the new units was not fully considered. The following options are raised for discussion:

- 1. If a non-complying structure is required to be rebuilt to accommodate an ADU, the replacement structure must be code compliant.
- 2. Establish an exemption to allow the reconstruction of non-complying structures when it is required by Building code when 100% of the space exclusively used for the ADU living area.

# E. Owner-Occupancy Requirements

State legislation does not mandate or preclude owner-occupancy requirements related to ADUs, but does for most circumstances require owner-occupancy for JADUs. The owner may occupy the JADU or principal residence.

The City requires owner-occupancy of the accessory unit or the principal living unit for both ADUs and JADUs. This provision and others are memorialized in a deed restriction that is recorded against the property to advise future owners of applicable provisions related to ADUs/JADUs.

The owner-occupancy requirement was envisioned to help address neighborhood concerns about absent land owners and increased rental activity in residential neighborhoods. Moreover,

having the owner on-site creates a self-regulating condition with the tenant and land owner relationship, and provides a point of contact for any nearby residents that may have a concern or problem with the tenant.

One property owner has approached staff seeking this provision on ADUs be repealed because this owner does not currently, and would ultimately reside on the property with the proposed ADU. (See Attachment B.) Additionally, staff notes that based on the 2011-2015 American Community Survey 5-Year Estimates, there are 16,386 single family housing units in Palo Alto. Approximately 23% (3,803 housing units) of those housing units are renter-occupied. If the owner-occupancy requirement was removed for ADUs, it would provide a pathway to increase more ADU development on those parcels.

Ultimately, this is a policy question that can be revisited and staff requests PTC comments on how to approach this issue.

## F. Opt-Out Provision

The Municipal Code does not include provisions for when a property owner wants to remove the ADU/JADU from the site. Staff recommends adding a process to decommission an ADU/JADU but seeks PTC guidance on how far this effort should extend. It is unclear how often the City would receive a request to remove an ADU/JADU, but the question has come up at the planning counter. As noted earlier, ADUs/JADUs can benefit from increased lot coverage and floor area, and removal of the covered parking requirement for single family residences; benefits not enjoyed by other R1 zoned properties without an ADU/JADU. Staff requests Commission feedback on the extent to which site development benefits gained with the establishment of an ADU/JADU, if any, should be restored to its prior condition when the ADU/JADU is abandoned.

#### G. Siting ADUs on the Front of a Home

The ADU provisions include requirements for the exterior entry of an attached unit to be located on a separate building façade from the main residences' entrance.<sup>3</sup> With this provision, there was recognition that the ADU should be visually subordinate to the primary house.

A recent detached ADU proposal highlighted another aspect of development that the ordinance does not adequately address and that is building an ADU in front of an existing home, whether attached or detached. Because this scenario is not captured in the ADU regulations, it should be discussed for inclusion. For clarification, the state regulations allow for local jurisdictions to impose standards such as setbacks, landscape, and design review, for ADU development. If the

<sup>&</sup>lt;sup>3</sup> Except on corner lots, the accessory dwelling unit shall not have an entranceway facing the same lot line (property line) as the entranceway to the main dwelling unit unless the second entranceway is located in the rear half of the lot. Exterior staircases to second floor units shall be located toward the interior side or rear yard of the property. [PAMC 18.42.040(a)(7)(F)]

City was to incorporate additional ADU development standards as it relates to placement, it would be consistent with the state provisions.

There are some options identified below to initiate the discussion:

- 1. Leave the code as is and allow ADU placement as permitted by the existing development standards, regardless of whether it is located in the front of the home. In this case, the ADU would be located within the buildable area of the lot, but could be placed in front of the existing primary home.
- 2. Require the placement of detached ADUs when located in a side yard setback to be in the rear portion of the lot. Currently, for detached accessory structures, when located in an interior side setback, they must be located at least 75 feet back from the front property line. Detached ADUs could follow these same or similar requirements.

Requiring a rear ADU placement would likely facilitate compliance with sites that may have received a planning entitlement (i.e. IR, HIE, Variance), including ones for exceptions to the Municipal Code. For the planning entitlements referenced, the approval findings include neighborhood compatibility and other similar standards. One could argue that placing an ADU on one of these sites, especially on the street facing sides, could negate the intentions of a previously granted entitlement.

#### H. Miscellaneous

- a. 50% Rear Yard Coverage: The R-1 development standards require that no more than 50% of a required interior rear yard be covered by accessory structures [PAMC 18.12.080(b)(6)]. Staff would like feedback on whether this coverage restriction should also be applied to ADUs. The strict reading of the code would suggest that this provision would not apply to an ADU, whether constructed as new or done through a conversion of an existing accessory structure, because it is not an "accessory structure" by definition, and the 50% limitation applies to accessory structures.
  - "Accessory building or structure" means a building or structure which is incidental to and customarily associated with a specific principal use or facility, and which meets the applicable conditions set forth in Section <u>18.12.080</u>.
  - "Accessory dwelling unit" means an attached or a detached residential dwelling unit which provides complete independent living facilities for one or more persons. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family dwelling is situated. ..."
- b. Replacement Parking in the Streetside Setback: State law specifies that required replacement parking (i.e. for the primary home) may be "located in any configuration" on the subject property. The City code has identified that

replacement parking may be located in the front yard setback on an existing driveway (uncovered only). In the case of corner lots, the code is silent on allowing parking in the streetside setback. Staff suggests that replacement uncovered parking be allowed in the streetside setback similar to what has been permitted for the front yard setback and that the Director be given the discretion to approve parking stall dimensions less than required by code based on certain findings.

- c. Implications for Existing ADUs: The current ADU regulations are focused on developing new units and do not provide direction for applicability to existing units. Staff suggests that this clarification is needed in the code and should be analyzed for the appropriate clarifications. A few scenarios to consider would be:
  - i. Allow the expansion of existing units, within the allowable size limits, to take advantage of bonuses (lot coverage/floor area).
  - ii. Allow the elimination of required covered parking to support expansion of existing units.
  - iii. Consider exempting the deed restriction requirement for improvements to existing units, providing no bonus lot coverage or floor area is granted.

#### City Council Follow-up Discussion Items

At the March 7, 2017 Council meeting regarding the ADU regulations, Council directed staff to return in 2018 with additional information regarding the two issues below.

#### **Options to Make ADUs Available to Moderate or Low Income Residents**

City Council directed staff to explore further the possible options to make ADUs accessible to moderate and low income residents. This type of program reflects the larger concern regarding the lack of affordable housing in Palo Alto and the greater Bay Area., Staff still needs to do more research on this issue, but preliminarily believes that a regulatory requirement to make ADUs available on an income-restricted basis could create a barrier to ADU production that may run afoul of state law provisions to encourage construction of ADUs. An incentive-focused approach would likely be necessary.

One approach that could be feasible is to partner with an organization that has programs that reflect the City's intention and goals; the City could contribute funding under specific conditions to help facilitate implementation in Palo Alto. As an example for this, <u>Housing Trust Silicon Valley</u>, a local non-profit organization based in San Jose, is currently developing a pilot program that would provide low-cost flexible loans to homeowners for the purpose of constructing an ADU in exchange for their agreement to rent the units at affordable costs to low- and middle-income earners. The Housing Trust's funding "will be used to make capital loans to homeowners — who can easily spend \$100,000 or \$200,000 on ground-up construction of an ADU. But the Housing Trust also intends to create an educational outreach program — involving classes, workshops and technical assistance — to help homeowners navigate the ADU

process."<sup>4</sup> The partnership option ideally would place responsibility of the program management on the agreeable non-profit organization.

If the City were to develop its own program, it could include the strategies listed below. It should be noted that many of these ideas can be used to encourage and support ADU development in general, without the specific focus on moderate/low income residents.

Financial Assistance

- 1. Provide financial aid/loans or subsidies:
  - a. Use City of Palo Alto's Housing funds to finance affordable loans at low interest rates or subsidies for ADU construction.
  - b. Provision of interest free or forgivable loans.
  - c. Provide salary assistance (wage subsidy) for builders to lower construction cost.
- 2. Reduce or eliminate building permit fees and development impact fees.

Technical and Educational Assistance

- 3. Develop prototype designs for ADUs that can be readily utilized for the permit process and can be approved more expeditiously.
- 4. Providing technical assistance grant where the City can pay a specified amount towards one hour of a professional's time to help solve particular design problems or to adjust ADU Prototype.
- 5. Provide resources or training for what's involved in becoming a landlord; develop a "kit."
- 6. Providing other resources, such as an online information library on ADU resources.

#### Strategies for Legalizing Illegally Constructed ADUs

As with the item above, on March 7, 2017 Council directed staff to return in 2018 with discussion on approaches to bring existing illegal ADUs into compliance. Staff has researched what other jurisdictions<sup>5</sup> have done to address this concern and compiled the discussion below.

There are a few cities in the bay area that have implemented protocols to legalize illegal ADUs. These cities include San Francisco, Santa Cruz, and Oakland. A reoccurring fundamental condition was the required documentation that the living unit was in existence by a specific

<sup>&</sup>lt;sup>4</sup> *The Mercury News* "Bank funds 'granny' units project in affordable housing experiment for San Jose, L.A." October 9, 2017: <u>http://www.mercurynews.com/2017/10/09/an-affordable-housing-experiment-for-san-jose-and-los-angeles-bank-funds-pilot-project-to-help-build-granny-units/</u>

<sup>&</sup>lt;sup>5</sup> Staff contacted the following cities for information: Berkeley, Los Altos, Menlo Park, Mountain View, Oakland, Redwood City, San Francisco, and Santa Cruz

date, and only those units would then be considered for the unique legalization process. Generally, the units had to be made building code compliant for all health and safety concerns, and then special consideration was given to other non-complying development standards (e.g. setbacks, height, lot coverage, etc.). Staff is still exploring options to balance city interests in possibly legalizing such ADUs while addressing life and safety concerns. Staff welcomes the Commission's feedback on an approach to address this issue. The more common approach to incentivize property owners to legalize their units is associated with cost savings. Some strategies used by one or more of the cities with legalization programs include:

- Waiving permitting and or development impact fees
- Reducing permitting and or development fees
- Fee waivers/reductions can be associated with a specific timeframe to motivate property owners to participate.

# State Regulations Taking Effect January 2018

Earlier this year, the City adopted comprehensive regulations related to ADUs to conform to state law that became effective on January 1, 2017. Subsequently, the state Legislature passed two additional bills AB 494 and SB 229, signed by the Governor in September 2017, clarifying the previously adopted ADU legislation. The City's existing ordinance only requires minor modifications to remain consistent with state law. The proposed amendments include those conforming changes as well as other very minor clarifications. These amendments were included with the Planning Code Amendments agenda item at the November 29, 2017 PTC meeting (report <u>#8041</u>), but was not discussed due to a continuance; it is now on the December 13, 2017 meeting agenda. The changes are summarized below:

- State law has been revised to clarify that an ADU may be constructed on sites with either an existing *or proposed* single-family dwelling. This revision is consistent with the City's implementation of the ADU ordinance, and the proposed ordinance would make conforming changes to reference proposed single-family homes.
- The proposed ordinance would also add to the list of zoning districts where ADUs are allowed (R-1, R-2, RE, RMD and OS districts) and those sites that are zoned Planned Community where single-family dwelling is an allowed use. The PC zoned sites would require a minimum lot size of 5,000 square feet like the conventional zoning districts (other than the OS district) where ADUs are allowed.
- With respect to ADUs established through conversions of space within an existing singlefamily home or an existing accessory structure, the new state legislation requires that such conversions be allowed in any zoning district where single-family residential is an allowed use. The proposed amendment would allow interior ADUs in the R-2, RMD, RM, and OS and PC districts where single-family residential is an allowed use.

These state driven code amendments are anticipated to be reviewed by Council in February 2018.

# **Environmental Review**

The Study Session review does not require action and therefore does not constitute a "project" requiring environmental review and is not subject to the California Environmental Quality Act (CEQA). However, any resulting ordinance will be reviewed in compliance with CEQA.

# Public Notification, Outreach & Comments

The Palo Alto Municipal Code does not require notice of this public hearing be published in a local paper because it is a Study Session. As a courtesy, a notice of a public hearing for this discussion was published in the Palo Alto Weekly on December 1, 2017.

For the discussion in this report, staff did not perform any specific public outreach; the meeting was noted on the City's ADU project webpage. Staff did receive one comment letter that was focused on the owner-occupancy requirements and the interest in having them be removed (Attachment B).

# **Next Steps**

It is anticipated that staff will return in Spring 2018 to the PTC with a draft ordinance for review and recommendation, which would be forwarded to the City Council soon thereafter.

# **Report Author & Contact Information**

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# Attachments:

- Attachment A: ADU/JADU Ordinance #5412 (PDF)
- Attachment B: Lundy Comment Letter (PDF)

<sup>&</sup>lt;sup>6</sup> Emails may be sent directly to the PTC using the following address: <u>planning.commission@cityofpaloalto.org</u>

#### Ordinance No. 5412

Ordinance of the Council of the City of Palo Alto Amending Chapter 18 (Zoning) of the Palo Alto Municipal Code to Implement New State Law Requirements Relating to Accessory Dwelling Units and Junior Accessory Dwelling Units and to Reorganize and Update City's Existing Regulations

The Council of the City of Palo Alto does ORDAIN as follows:

**SECTION 1.** Findings and Declarations. The City Council finds and declares as follows:

A. Housing in California is becoming increasingly unaffordable. The average California home currently costs about 2.5 times the national average home price and the monthly rent is 50% higher than the rest of the nation. Rent in San Francisco, San Jose, Oakland, and Los Angeles are among the top 10 most unaffordable in the nation. With rising population growth, California must not only provide housing but also ensure affordability.

B. Despite a high median income in Palo Alto, nearly 30 percent of all households overpaid for their housing (more than 30 percent of their income) in 2010.

C. It is estimated that 63 percent of extremely low income renter households and 75 percent of extremely low income owner households overpaid for housing in 2010. Of the estimated 1,520 low income households, 75 percent of renter households and 44 percent of homeowner households paid more than 30 percent of their income for housing.

D. The Palo Alto City Council, recognizing the severity of the regional housing crisis, requested that the Planning and Transportation Commission review constraints affecting the production of second (accessory) dwelling units and recommend modifications to the City's development standards.

E. While existing law enables accessory dwellings as a source of housing, recent studies show that local standards like Palo Alto's, perhaps unintentionally, prevent homeowners from building ADUs with standards like lot coverage, large set-backs, off-street parking, or costly construction requirements.

F. In September 2016, Governor Brown signed into law Senate Bill 1069, Assembly Bill 2299 and Assembly Bill 2406 relating to the creation of accessory dwelling units (ADUs) and junior accessory dwelling units.

G. These new bills were intended to address the housing crisis by easing regulatory barriers for homeowners who choose to build affordable housing in their own backyards.

H. This ordinance is adopted to comply with these new State mandates regarding ADUs and junior accessory dwelling units, and to reduce regulatory constraints affecting their production.

**SECTION 2.** Section 18.04.030 (Definitions) of Chapter 18.04 (Definitions) of Title 18 (Zoning) is amended to read as follows:

#### 18.04.030 Definitions

. . .

(4) <u>"Accessory dwelling unit" means an attached or a detached residential dwelling</u> unit which provides complete independent living facilities for one or more persons. It shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family dwelling is situated. An accessory dwelling unit also includes the following:

a. An efficiency unit, as defined in Section 17958.1 of the Health and Safety Code.

<u>b.</u> A manufactured home, as defined in Section 18007 of the Health and Safety Code. In some instances this Code uses the term second dwelling unit interchangeably with accessory dwelling unit.

(46.5) "Dwelling unit, second" means a separate and complete dwelling unit, other thanand subordinate to the main dwelling unit, whether a part of the same structure or detached, onthe same residential lot.

(74.5) "Junior accessory dwelling unit" means a unit that is no more than 500 square feet in size and contained entirely within an existing single-family structure. A junior accessory dwelling unit may include separate sanitation facilities, or may share sanitation facilities with the existing structure.

(132) "Single-family use" means the use of a site for only one dwelling unit and, where permitted, an accessory second dwelling unit or a junior accessory dwelling unit.

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**SECTION 3.** In Section 18.10.010 (a) substitute the term "accessory dwelling unit(s)" for "second dwelling unit(s)".

**SECTION 4.** Section 18.10.030 Table 1 and Footnote (2) are amended as follows:

# TABLE 1 PERMITTED AND CONDITIONALLY PERMITTED LOW-DENSITY RESIDENTIAL USES

[P = Permitted Use -- CUP = Conditional Use Permit Required]

	R-E	R-2	RMD	Subject to Regulations in:
ACCESSORY AND SUPPORT USES				
Accessory facilities and uses customarily incidental to permitted uses (no limit on number of plumbing fixtures)	Р	Р	Р	18.10.080
Home Occupations, when accessory to permitted residential uses.	Р	Р	Р	18.42.060
Horticulture, gardening, and growing of food products for consumption by occupants of the site.	Р	Р	Р	
Sale of agricultural products produced on the premises (1)	Р			18.10.110
Second Accessory Dwelling Units	Р	P <sup>(2)</sup>	P <sup>(2)</sup>	18. <u>42<del>1</del>0</u> .0 <u>47</u> 0

Junior Accessory Dwelling Units	<u>P</u>	<u>P<sup>(2)</sup></u>	<u>P<sup>(2)</sup></u>	<u>18.42.040</u>
AGRICULTURE AND OPEN SPACE USES				
Agriculture	Р			18.10.110
EDUCATIONAL, RELIGIOUS, AND ASSEMBLY USES				
Private Educational Facilities	CUP	CUP	CUP	
Religious Congregations and Institutions	CUP	CUP	CUP	
PUBLIC/QUASI-PUBLIC USES				
Community Centers	CUP	CUP	CUP	
Utility Facilities essential to provision of utility services to the neighborhood, but excluding business offices, construction or storage yards, maintenance facilities, or corporation yards.	CUP	CUP	CUP	
RECREATION USES				
Neighborhood Recreational Centers			CUP	
Outdoor Recreation Services	CUP	CUP		
RESIDENTIAL USES				
Single-Family	Р	Р	Р	
Two-Family use, under one ownership		Р	Р	
Mobile Homes	Р	Р	Р	18.42.100
Residential Care Homes	Р	Р	Р	
RETAIL USES				
Cemeteries	CUP			
Commercial Plant Nurseries	CUP			
SERVICE USES				
Convalescent Facilities	CUP			
Day Care Centers	CUP	CUP	CUP	
Small Adult Day Care Homes	Р	Р	Р	
Large Adult Day Care Homes	CUP	CUP	CUP	
Small Family Day Care Homes	Р	Р	Р	
Large Family Day Care Homes	Р	Р	Р	
Bed & Breakfast Inns			P <sup>(3)</sup>	
P = Permitted Use		CUP = ( Require		onal Use Permit

• • •

(2) Second Accessory Dwelling Units in R-2 and RMD Zones: An accessory second dwelling unit or a Junior Accessory Dwelling Unit associated with a single-family residence on a lot in the R-2 or RMD zones is permitted, subject to the provisions of Section 18.10.07018.42.040, and such that no more than two units result on the lot.

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**SECTION 5.** Section 18.10.040 (Development Standards) of Chapter 18.10 (Low-Density Residential (RE, R-2 and RMD) Districts) of Title 18 (Zoning) is amended to read as follows:

#### 18.10.040 Development Standards

(a) Site Specifications, Building Size, Height and Bulk, and Residential Density

18.10.040(a) Table 2, Footnote

. . .

(5) Maximum House Size: The gross floor area of attached garages and attached second <u>accessory</u> dwelling units <u>and junior accessory</u> dwelling units are included in the calculation of maximum house size. If there is no garage attached to the house, then the square footage of one detached covered parking space shall be included in the calculation. This provision applies only to single-family residences, not to duplexes allowed in the R-2 and RMD districts.

•••

#### (i) Individual Review

The Individual Review provisions of Section 18.12.110 of the Zoning Ordinance shall be applied to any single-family or two-family residence in the R-2 or RMD districts to those sides of a site that share an interior side lot line with the interior side or rear lot line of a property zoned for or used for single- family or two-family dwellings... except where architectural review board review is required foran accessory second dwelling on an RMD-zoned site. The individual review criteria shall be applied only to the project's effects on adjacent single-family and two-family uses.

**SECTION 6.** Section 18.10.060 Table 3 is amended as follows:

Use	Minimum Off-Street Parking Requirement
Single-family residential use (excluding <del>second accessory</del> dwelling units)	2 spaces per unit, of which one must be covered
Two family (R2 & RMD districts)	3 spaces total, of which at least two must be covered
Second Accessory dwelling unit, attached or detached÷ ≻450 sf in size 4450 sf in size	2 spaces per unit, of which one must be covered1 space per unit, which may be covered or uncoveredNo parking required
Junior accessory dwelling unit	No parking required
Other Uses	See Chapter 18.40

 TABLE 3

 PARKING REQUIREMENTS FOR R-E, R-2 AND RMD USES

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**SECTION 7.** Section 18.10.070 (Second Dwelling Units) of Chapter 18.10 (Low-Density Residential (RE, R-2 and RMD) Districts) of Title 18 (Zoning) is repealed in its entirety and a new 18.10.070 is added to read as follows:

#### 18.10.070 Accessory and Junior Accessory Dwelling Units

<u>Accessory Dwelling Units and Junior Accessory Dwelling Units are subject to the</u> <u>regulations set forth in Section 18.42.040.</u>

**SECTION 8.** Section 18.10.120 (Architectural Review) of Chapter 18.10 (Low-Density Residential (RE, R-2 and RMD) Districts) of Title 18 (Zoning) is amended to read as follows:

# 18.10.120 Architectural Review

Architectural review, as required in Section 18.76.020, is required in the R-E, R-2, and RMD districts whenever three or more adjacent residential units are intended to be developed concurrently, whether through subdivision or individual applications. Architectural review is also-required for **second dwelling units** of more than 900 square feet, when located in the Neighborhood-Preservation Combining District (NP).

**SECTION 9.** Section 18.10.140 (Neighborhood Preservation Combining District (NP) Standards) of Chapter 18.10 (Low-Density Residential (RE, R-2 and RMD) Districts) of Title 18 (Zoning)

is amended to read as follows:

#### 18.10.140 Neighborhood Preservation Combining District (NP) Standards

• • •

(b)(2) Design Review Required

For properties on which two or more residential units are developed or modified, design review and approval shall be required by the architectural review board in compliance with procedures established in Section 18.76.020 for any new development or modification to any structure on the property and for site amenities. No design review is required for construction of or modifications to single-family structures that constitute the only principal structure on a parcel of land or for accessory dwelling units or junior accessory units.

-No design review is required for construction of **second dwelling units** on a parcel exceptwhen the **second unit** exceeds 900 square feet in size.

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. . .

**SECTION 10.** Section 18.10.150(e) (Existing Second Dwelling Units on Substandard Size Lots) is deleted in its entirety and reserved for future use.

**SECTION 11**. Section 18.12.010(a) is amended as follows:

(a) Single Family Residential District [R-1]

The R-1 single family residential district is intended to create, preserve, and enhance areas suitable for detached dwellings with a strong presence of nature and with open area affording maximum privacy and opportunities for outdoor living and children's play. Minimum site area requirements are established to create and preserve variety among neighborhoods, to provide adequate open area, and to encourage quality design. <u>Second Accessory</u> dwelling units, junior <u>accessory dwelling units</u> and accessory structures or buildings are appropriate. <del>where consistent with the site and neighborhood character.</del> Community uses and facilities, such as churches and schools, should be limited unless no net loss of housing would result.

. . .

**SECTION 12.** Section 18.12.030 Table 1, is amended as follows:

Table 1PERMITTED AND CONDITIONAL R-1 RESIDENTIAL USES

	R-1 and all R-1 Subdistricts	Subject to Regulations for:
ACCESSORY AND SUPPORT USES		
Accessory facilities and uses customarily	Р	18.04.030(a)(3)
incidental to permitted uses with no more than		18.12.080
two plumbing fixtures and no kitchen facility, or		
of a size less than or equal to 200 square feet		
Accessory facilities and uses customarily	CUP	18.12.080
incidental to permitted uses with more than		
two plumbing fixtures (but with no kitchen), and		
in excess of 200 square feet in size, but excluding second accessory dwelling units		
Home occupations, when accessory to	P	18.42.060
permitted residential		10.42.000
Horticulture, gardening, and growing of food	Р	
products for consumption by occupants of the		
site		
Second Accessory Dwelling Units	P <sup>(1)</sup>	18. <u>42.040</u> 12.070
Junior Accessory Dwelling Unit	P <sup>(1)</sup>	<u>18.42.040</u>
EDUCATIONAL, RELIGIOUS AND ASSEMBLY USES		
Private Educational Facilities	CUP	
Churches and Religious Institutions	CUP	
PUBLIC/QUASI PUBLIC USES		
Community Centers	CUP	
Utility Facilities essential to provision of utility	CUP	
services to the neighborhood, but excluding		
business offices, construction or storage yards,		
maintenance facilities, or corporation yards		
RECREATION USES		
Outdoor Recreation Services	CUP	
RESIDENTIAL USES		
Single-Family	Р	
Mobile Homes	Р	18.42.100
Residential Care Homes	Р	
SERVICE USES		
Day Care Centers	CUP	
Small Adult Day Care Homes	Р	

P = Permitted Use	P = Permitted Use CUP = Conditional Use Permit Required			
Large Family Day Care Homes	Р			
Small Family Day Care Homes	Р			
Large Adult Day Care Homes	CUP			

(1) An Accessory Dwelling Unit or a Junior Accessory Dwelling Unit associated with a singlefamily residence on a lot is permitted, subject to the provisions of Section 18.42.040, and such that no more than two total units result on the lot.

**SECTION 13.** Section 18.12.040 Table 2, footnote (8) is amended as follows:

(8) **Maximum House Size:** The gross floor area of attached garages and attached <u>accessory second</u> dwelling units <u>and junior accessory dwelling units</u> are included in the calculation of maximum house size. If there is no garage attached to the house, then the square footage of one detached covered parking space shall be included in the calculation.

**SECTION 14**. Section 18.12.060 Table 4 is amended as follows:

Table 4 shows the minimum off-street automobile parking requirements for specific uses in the R-1 district.

Table 4					
Parking Requirements for Specific R-1 Uses					
Use	Minimum Off-Street Parking Requirement				
Single-family residential use (excluding second-accessory dwelling units)	2 spaces per unit, of which one must be covered.				
Second Accessory dwelling unit , attached or detached	<del>2 spaces per unit, of which one must be covered</del> <u>No parking required</u>				
Junior Accessory Dwelling Unit	No parking required				
Other Uses	See Chs. 18.52 and 18.54				

• • •

**SECTION 15.** Section 18.12.070 (Second Dwelling Units) of Chapter 18.12 (R-1 Single-Family Residential District) of Title 18 (Zoning) is repealed in its entirety and a new 18.12.070 is added to read as follows:

#### 18.12.070 Accessory and Junior Accessory Dwelling Units

<u>Accessory Dwelling Units and Junior Accessory Dwelling Units are subject to the regulations</u> <u>set forth in Section 18.42.040.</u>

**SECTION 16.** Section 18.12.090(b)(2) is amended to read as follows:

. . .

(2) basement area is deemed to be habitable space but the finished level of the first floor is no more than three feet above the grade around the perimeter of the building foundation.

Basement space used as a second dwelling unit or portion thereof shall be counted as floorarea for the purpose of calculating the maximum size of the unit (but may be excluded fromcalculations of floor area for the total site). This provision is intended to assure that secondunits are subordinate in size to the main dwelling and to preclude the development of duplexzoning on the site.

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**SECTION 17.** Section 18.12.150(d) (Existing Second Dwelling Units on Substandard Size Lots) is deleted in its entirety and reserved for future use.

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**SECTION 18.** Section 18.28.040, Table 1, is amended as follows:

Land Uses					
	PF	OS	AC	Subject to Regulations in Chapter:	
ACCESSORY AND SUPPORT USES					
Accessory facilities and accessory uses		Р			
Eating and drinking services in conjunction with a permitted use	CUP			Chs. 18.40 and 18.42	
Retail services as an accessory use to the administrative offices of a non-profit organization, provided that such retail services do not exceed 25% of the gross floor area of the combined administrative office services and retail service uses	CUP				
Retail services in conjunction with a permitted use	CUP				

Table 1 Land Uses

	1	1	1	I
Sale of agricultural products produced on the premises;				
provided, that no permanent commercial structure for			Р	
the sale or processing of agricultural products shall be				
permitted.				
Second Accessory dwelling units, subject to		P <sup>(2)</sup>		10 20 070
regulations in Section 18.28.07042.040				<del>18.28.070</del>
-				<u>18.42.040</u>
Junior Accessory Dwelling Unit		<u>P</u> <sup>(2)</sup>		18.42.040
		<u> </u>		10.42.040
AGRICULTURAL AND OPEN SPACE USES				
Agricultural Uses, including animal husbandry, crops,				
dairying, horticulture, nurseries, livestock farming, tree		P	Р	
farming, viticulture, and similar uses not inconsistent				
with the intent and purpose of this chapter				
Botanical conservatories, outdoor nature				
laboratories, and similar facilities		Р		
Native wildlife sanctuaries		Р		
Park uses and uses incidental to park operation	Р			
EDUCATIONAL, RELIGIOUS, AND ASSEMBLY USES				
Business or trade schools	CUP <sup>(1)</sup>			
Churches and religious institutions	CUP			
Educational, charitable, research, and philanthropic				
institutions		CUP		
Private educational facilities	CUP			
Public or private colleges and universities and	CLID			
facilities appurtenant thereto	CUP			
Special education classes	CUP			
OFFICE USES				
Administrative office services for non-profit	CUP			
organizations	0			
OTHER USES				
Other uses which, in the opinion of the director, are	(1)			
similar to those listed as permitted or conditionally permitted uses	CUP <sup>(1)</sup>			
•				
PUBLIC/QUASI-PUBLIC FACILITY USES All facilities owned or leased, and operated or used, by				
the City of Palo Alto, the County of Santa Clara, the State	Р			
of California, the government of the United States, the				
Palo Alto Unified School District, or any other				
governmental agency				
Communication Facilities		CUP		
Community Centers	CUP <sup>(1)</sup>			<u> </u>
Utility Facilities	CUP (+) CUP	CUP	CUP	
·		COF	COF	
RECREATIONAL USES Neighborhood recreation centers	CUP <sup>(1)</sup>			

Outdoor recreation services	CUP <sup>(1)</sup>		CUP	
Recreational uses including riding academies, clubs, stables, country clubs, and golf courses		CUP		
Youth clubs	CUP <sup>(1)</sup>			
RESIDENTIAL USES				
Single-family dwellings		Р		
Manufactured housing (including mobile homes on permanent foundations)		Р		18.40.
Guest ranches		CUP		
Residential care facilities, when utilizing existing structures on the site	CUP <sup>(1)</sup>			
Residential Care Homes		Р		
Residential use, and accessory buildings and uses customarily incidental to permitted dwellings; provided, however, that such permitted dwellings shall be for the exclusive use of the owner or owners, or lessee or lessor of land upon which the permitted agricultural use is conducted, and the residence of other members of the same family and bona fide employees of the aforementioned			Р	
SERVICE USES				
Animal care, including boarding and kennels		CUP	CUP	
Cemeteries			CUP	
Cemeteries, not including mausolea, crematoria, or columbaria		CUP		
Small day care homes		Р		
Large day care homes		CUP		
Day care centers	CUP (1)			
Art, dance, gymnastic, exercise or music studios or	CUP (1)			
Medical Services:				
Hospitals	CUP			
Outpatient medical facilities with associated medical research	CUP			
TEMPORARY USES				
Temporary parking facilities, provided that such facilities	CUP (1)			
TRANSPORTATION USES				

• • •

(2) An accessory dwelling unit or a Junior Accessory Dwelling Unit associated with a singlefamily residence on a lot in the OS District is permitted, subject to the provisions of Section 18.42.040, and such that no more than two total units result on the lot.

**SECTION 19.** Section 18.28.070(a) (Second Dwelling Units) is amended as follows:

#### 18.28.070 Additional OS District Regulations

The following additional regulations shall apply in the OS district:

(a) Second Accessory Dwelling Units and Junior Accessory Dwelling Units

<u>Accessory Dwelling Units and Junior Accessory Dwelling Units are subject to the regulations</u> <u>set forth in Section 18.42.040.</u>

Not more than one attached or detached second dwelling units shall be allowed on a lot in the OS district, and shall be subject to the following regulations:

(1) Second dwelling shall only be permitted on sites with a minimum site area of 10acres;

(2) Attached second dwelling units shall comply with the OS district height limitation of 25 feet;

and

(3) Second dwelling units shall follow the standards set forth in the Residential Estate (R-E) District for second dwelling units (18.10.070(b)), with the exceptions outlined in subsections 1 and 2above.

• • •

**SECTION 20.** Section 18.42.040 (Accessory and Junior Accessory Dwelling Units) is added as follows:

#### 18.42.040 Accessory and Junior Accessory Dwelling Units

<u>The following regulations apply to zoning districts where accessory dwelling units and junior</u> <u>accessory dwelling units are permitted.</u>

#### (a) Accessory Dwelling Units

#### 1. Purpose

The intent of this section is to provide regulations to accommodate accessory dwelling units, in order to provide for variety to the city's housing stock and additional affordable housing opportunities. Accessory Dwelling Units shall be separate, self-contained living units, with separate entrances from the main residence, whether attached or detached. The standards below are provided to minimize the impacts of accessory dwelling units on nearby residents and throughout the city, and to assure that the size and location of such dwellings is compatible with the existing residence on the site and with other structures in the area.

2. Minimum Lot Sizes

(i) In the R-1 district and all R-1 subdistricts, RE district, R-2 district, and RMD district, the minimum lot size for the development of an accessory dwelling unit is 5,000 square feet.

(ii) In the OS District, the minimum lot size for the development of an accessory dwelling unit is 10 acres.

#### 3. Setbacks and Daylight Plane

(i) Except as otherwise provided in this section, accessory dwelling units shall

comply with the underlying zoning district's setbacks, including daylight plane requirements.

(ii) Notwithstanding section (i) above, no setback shall be required for an existing garage that is converted to an accessory dwelling unit, except as provided in subsection (a)(5) below.

(iii) In districts permitting second story accessory dwelling units, a setback of no more than five feet from the side and rear lot lines shall be required for an accessory dwelling unit constructed above a garage.

#### 4. Lot Coverage/FAR

(i) <u>An accessory dwelling unit shall be included in the lot coverage and FAR</u> requirements applicable to the parcel.

#### (ii) Exceptions:

a. Lot Coverage. When the development of an accessory dwelling unit on a parcel with an existing single family residence would result in the parcel exceeding the lot coverage requirement, the accessory dwelling unit shall not be included in the calculation of lot coverage applicable to the property, so long as the parcel meets the underlying zoning district's minimum lot size requirement or is substandard by no more than ten percent (10%) of the underlying zoning district's minimum lot size requirement.

b. <u>Basement FAR. In the R-1 district and all R-1 subdistricts, basement space</u> <u>used as an accessory dwelling unit, or portion thereof, shall not be included in the calculation of floor</u> <u>area for the entire site, providing the measurement from first finished floor to grade around the</u> <u>perimeter of the building is no more than three (3) feet.</u>

c. <u>FAR. When the development of a new one-story accessory dwelling unit on</u> <u>a parcel with an existing single family residence would result in the parcel exceeding the maximum floor</u> <u>area, an additional 175 square feet of floor area above the maximum amount of floor area otherwise</u> <u>permitted by the underlying zoning district shall be allowed. This additional area shall be permitted only</u> <u>to accommodate the development of the accessory dwelling unit.</u>

5. Conversion of Space in Existing Single Family Residence or Existing Accessory Structure

Notwithstanding the provisions of subsections (a)(2), (a)(3), (a)(4), (a)(7) and (a)(8), in the R-1 district and all R-1 subdistricts and RE district only, an Accessory Dwelling Unit shall be permitted if the unit is contained within the existing space of a single-family residence or an existing accessory structure, has independent exterior access from the existing residence, and the side and rear setbacks are sufficient for fire safety, and if the accessory dwelling unit conforms with the following:

a. For the purposes of this section, the portion of the single-family residence or accessory structure subject to the conversion shall be legally permitted and existing as of January 1,

<u>2017.</u>

<u>b.</u> Notwithstanding the allowance in this section, only one accessory dwelling unit or junior accessory dwelling unit may be located on any lot subject to this section.

c. No new or separate utility connection shall be required between the accessory dwelling unit and utility service, such as water, sewer, and power.

<u>d. The accessory dwelling unit shall comply with the provisions of subsections</u> (a)(6), (a)(9), and (a)(10).

6. Privacy

Any window, door or deck of a second story accessory dwelling unit shall utilize techniques to lessen views onto adjacent properties to preserve the privacy of residents. These techniques may include placement of doors, windows and decks to minimize overview of neighboring dwelling units, use of obscured glazing, window placement above eye level, and screening between the properties.

7. Additional Development Standards for Attached Accessory Dwelling Units

(i) Attached accessory dwelling units are those attached to the main dwelling. All attached accessory dwelling units shall be subject to the additional development requirements specified below.

(ii) Attached unit size counts toward the calculation of maximum house size.

(iii) Unit Size: The maximum size of an attached accessory dwelling unit living area shall not exceed 600 square feet and shall not exceed 50% of the existing living area of the primary existing dwelling unit. The accessory dwelling unit and any covered parking provided for the accessory dwelling unit shall be included in the total floor area for the site, but the covered parking area is not included in the maximum 600 square feet for attached unit. Any basement space used as an accessory dwelling unit or portion thereof shall be counted as floor area for the purpose of calculating the maximum size of the accessory unit.

(iv) Maximum height (including property in a special flood hazard zone): One story and 17 feet. However, in the RE District attached Accessory Dwelling Units may be two stories and 30 feet. In the OS zone, attached Accessory Dwelling Units may be two stories and 25 feet.

(v) Separate Entry Required for Attached Units: A separate exterior entry shall be provided to serve an accessory dwelling unit.

(vi) Except on corner lots, the accessory dwelling unit shall not have an entranceway facing the same lot line (property line) as the entranceway to the main dwelling unit unless the second entranceway is located in the rear half of the lot. Exterior staircases to second floor units shall be located toward the interior side or rear yard of the property.

(vii) If covered parking for an accessory dwelling unit is provided in the RE zone, the maximum size of the covered parking area for the accessory dwelling unit is 200 square feet.

#### 8. Additional Development Standards for Detached Accessory Dwelling Units

(i) Detached accessory dwelling units are those detached from the main dwelling. All detached accessory dwelling units shall be subject to the additional development standards specified below.

(ii) The maximum size of the detached accessory dwelling unit living area shall be 900 square feet.

a. The accessory dwelling unit and any covered parking shall be included in the total floor area for the site, but the covered parking area is not included within the maximum 900 square feet for detached unit.

b. Any basement space used as an accessory dwelling unit or portion thereof shall be counted as floor area for the purpose of calculating the maximum size of the accessory unit.

(iii) Maximum height (including property in a special flood hazard zone): one story and 17 feet.

(iv) Setbacks: notwithstanding section (a)(3)(i), a detached accessory dwelling unit may be located in a rear yard, but must maintain a minimum setback of six feet (6') from the interior side and rear property lines and sixteen feet (16') from a street side yard. No portion of a building may encroach into a daylight plane beginning at a height of eight feet (8') at the property line and increasing at a slope of one foot (1') for every one foot (1') of distance from the property line.

(v) If covered parking is provided for an accessory dwelling unit in the RE District, the maximum size of covered parking area for the detached accessory dwelling unit is 200 square feet.

(vi) There shall be no windows, doors, mechanical equipment, or venting or exhaust systems located within six feet of a property line.

9. Additional Requirements for All Accessory Dwelling Units

(i) <u>Sale of Units: The Accessory dwelling unit shall not be sold separately from the</u> <u>primary residence.</u>

(ii) Short term rentals. The accessory dwelling unit shall not be rented for periods of less than 30 days.

(iii) Number of Units Allowed: Only one accessory dwelling unit or junior accessory dwelling unit may be located on any residentially zoned lot.

(iv) Existing Development: A single-family dwelling shall exist on the lot or shall be constructed on the lot in conjunction with the construction of the accessory dwelling unit.

(v) Occupancy: The owner of a parcel proposed for accessory dwelling use shall occupy as a principal residence either the primary dwelling or the accessory dwelling, unless both the primary dwelling and the accessory dwelling are rented to the same tenant and such tenant is prohibited from sub-leasing the primary dwelling or the accessory dwelling. (vi) Prior to issuance of a building permit for the accessory dwelling unit, the owner shall record a deed restriction in a form approved by the city that: includes a prohibition on the sale of the accessory dwelling unit separate from the sale of the single-family residence; requires owneroccupancy consistent with subsection (a)(9)(v) above; does not permit short-term rentals; and restricts the size and attributes of the accessory dwelling unit to those that conform with this section.

(vii) Accessory dwelling units shall not be required to provide fire sprinklers if they are not required for the primary residence.

(viii) Street Address Required: Street addresses shall be assigned to all accessory dwellings to assist in emergency response.

(ix) Street Access: When parking is provided, the accessory dwelling unit shall have street access from a driveway in common with the main residence in order to prevent new curb cuts, excessive paving, and elimination of street trees, unless separate driveway access is permitted by the director upon a determination that separate access will result in fewer environmental impacts such as excessive paving, unnecessary grading or unnecessary tree removal, and that such separate access will not create the appearance, from the street, of a lot division or two-family use.

(x) For properties listed in the Palo Alto Historic Inventory, the California Register of Historical Resources, the National Register of Historic Places, or considered a historic resource after completion of a historic resource evaluation, compliance with the appropriate Secretary of Interior's Standards for the Treatment of Historic Properties shall be required, as determined by the Planning Director.

(xi) No protected tree shall be removed for the purpose of establishing an accessory dwelling unit unless the tree is dead, dangerous or constitutes a nuisance under Section 8.04.050. Any protected tree removed pursuant to this subsection shall be replaced in accordance with the standards it the Tree Technical Manual.

(xii) Except as modified by this Section 18.42.040, the accessory dwelling unit shall conform to all requirements of the underlying zoning district, any applicable combining district, and all other applicable provisions of this Title 18.

10. Parking

(i) No additional parking shall be required for accessory dwelling units.

(ii) If an accessory dwelling unit replaces existing required covered parking, replacement spaces shall be provided. When a garage, carport, or covered parking structure is demolished in conjunction with the construction of an accessory dwelling unit, any required replacement spaces may be located in any configuration on the same lot as the accessory dwelling unit, including, but not limited to, within the front setback if on an existing driveway, as covered spaces, uncovered spaces, or tandem spaces, or by the use of mechanical automobile parking lifts. All new parking structures shall comply with development standards of the underlying zoning.

#### (b) Junior Accessory Dwelling Units

1. Purposes: This Section provides standards for the establishment of junior accessory dwelling units, an alternative to the standard accessory dwelling unit. Junior accessory dwelling units will typically be smaller than an accessory dwelling unit, will be constructed within the walls of an existing single family structure and requires owner occupancy in the single family residence where the unit is located.

2. Development Standards. Junior accessory dwelling units shall comply with the following standards:

(i) Number of Units Allowed: Either one accessory dwelling unit or one junior accessory dwelling unit, may be located on any residentially zoned lot that permits a single-family dwelling except as otherwise regulated or restricted by an adopted Coordinated Area Plan or Specific Plan. A junior accessory dwelling unit shall only be located on a lot which already contains one legal single-family dwelling.

(ii) Size: A junior accessory dwelling unit shall not exceed 500 square feet in size.

#### (iii) Lot Coverage/FAR:

a. A junior accessory dwelling unit shall be included in the calculation of lot coverage and FAR applicable to the property.

b. A lot with a junior accessory dwelling unit shall be permitted to develop an additional 50 square feet of floor area above the maximum amount of floor area otherwise permitted by the underlying zoning district. This additional area shall be permitted to accommodate the junior accessory dwelling unit.

(iv) Owner Occupancy: The owner of a parcel proposed for a junior accessory dwelling unit shall occupy as a principal residence either the primary dwelling or the junior accessory dwelling. Owner-occupancy is not required if the owner is a governmental agency, land trust, or housing organization.

(v) Sale Prohibited: A junior accessory dwelling unit shall not be sold independently of the primary dwelling on the parcel.

(vi) Short term rentals: The junior accessory dwelling unit shall not be rented for periods of less than 30 days.

(vii) Location of Junior Accessory Dwelling Unit: A junior accessory dwelling unit shall be created within the existing walls of an existing primary dwelling, and shall include conversion of an existing bedroom. (viii) Separate Entry Required: A separate exterior entry shall be provided to serve a junior accessory dwelling unit, with an interior entry to the main living area. A junior accessory dwelling may include a second interior doorway for sound attenuation.

(ix) Kitchen Requirements: The junior accessory dwelling unit shall include an efficiency kitchen, requiring and limited to the following components:

a. A sink with a maximum waste line diameter of one-and-a-half (1.5) inches,

<u>b. A cooking facility or appliance which does not require electrical service</u> greater than one hundred and twenty (120) volts, or natural or propane gas, and

c. A food preparation counter and storage cabinets that are of reasonable size in relation to the size of the junior accessory dwelling unit.

(x) Parking. No additional parking is required beyond that required at the time the existing primary dwelling was constructed.

(xi) Fire Protection; Utility Service. For the purposes of any fire or life protection ordinance or regulation or for the purposes of providing service for water, sewer, or power, a junior accessory dwelling unit shall not be considered a separate or new unit.

(xii) Deed Restriction. Prior to the issuance of a building permit for a junior accessory dwelling unit, the owner shall record a deed restriction in a form approved by the city that includes a prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, requires owner-occupancy consistent with subsection (b)(2)(iv) above, does not permit short-term rentals, and restricts the size and attributes of the junior dwelling unit to those that conform with this section.

**SECTION 21.** Section 18.52.040 (6)(c) Table 1, is amended as follows:

Use	Vehicle Parking Requirement (# of spaces)	Bicycle Parki	ng Requirement
		Spaces	Class <sup>1</sup> Long Term (LT) and Short Term (ST)
RESIDENTIAL USES	-		
Single -Family Residential (Primary Unit)	Tandem Parking Allowed		
(a) In the OS district	4 spaces, of which at least one space must be covered	None	
(b) In all other districts	2 spaces, of which at least one space must be covered		

Table 1 Minimum Off-Street Parking Requirements

(c) Underground parking for single family pursuant to a variance granted in accordan Chapter 18.76 (Permits and Approvals) of of the underground garage shall be counte <u>Second-Accessory</u> Dwelling Unit (In addition to main dwelling unit- requirements) 	nce with the provisions of this title, in which case the area	None	
Junior Accessory Dwelling Units	No parking required	N	lone
<b>Two-Family Residential</b> (R-2 & RMD Districts)	<ul> <li>1.5 spaces per unit, of which at least one space per unit must be covered</li> <li>Tandem Parking Allowed, with one tandem space per unit, associated directly with another parking space for the same unit</li> </ul>	1 space per Unit	100% – LT
Multiple -Family Residential	<ul> <li>1.25 per studio unit</li> <li>1.5 per 1-bedroom unit</li> <li>2 per 2-bedroom or larger</li> <li>unit At least one space per</li> <li>unit must be covered</li> <li>Tandem parking allowed for</li> <li>any unit requiring two spaces</li> <li>(one tandem space per unit,</li> <li>associated directly with</li> <li>another parking space for the</li> <li>same unit, up to a maximum</li> <li>of 25% of total required</li> <li>spaces for any project with</li> <li>more than four (4) units)</li> </ul>	1 per unit	100% – LT

uni tot pro on or spa	or projects exceeding 3 hits; 1 space plus 10% of tal number of units, ovided that if more than he space per unit is assigned secured parking, then guest faces equal to 33% of all hits is required.	1 space for each 10 units	100% – ST
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• • •

**SECTION 22.** In Section 18.76.020 (D), substitute the term "accessory dwelling unit(s)" for "second dwelling unit(s)".

**SECTION 23**. Any provision of the Palo Alto Municipal Code or appendices thereto inconsistent with the provisions of this Ordinance, to the extent of such inconsistencies and no further, is hereby repealed or modified to that extent necessary to effect the provisions of this Ordinance.

**SECTION 24**. If any section, subsection, sentence, clause, or phrase of this Ordinance is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions of this Ordinance. The City Council hereby declares that it would have passed this Ordinance and each and every section, subsection, sentence, clause, or phrase not declared invalid or unconstitutional without regard to whether any portion of the ordinance would be subsequently declared invalid or unconstitutional.

- // // // // //
- //

**SECTION 25**. The Council finds that the adoption of this ordinance is exempt from the provisions of the California Environmental Quality Act pursuant to Public Resources Code section 21080.17 (Application of Division to Ordinances Implementing Law Relating to Construction of Dwelling Units and Second Units) and CEQA Guideline sections 15061(b) and 15301, 15303 and 15305 because it simply provides a comprehensive permitting scheme for accessory dwelling units whose construction is exempt from CEQA.

**SECTION 26**. This ordinance shall be effective on the thirty-first date after the date of its adoption.

INTRODUCED: April 17, 2017

PASSED: May 8, 2017

AYES: DUBOIS, FILSETH, FINE, KNISS, SCHARFF, TANAKA, WOLBACH

NOES: HOLMAN, KOU

ABSENT:

NOT PARTICIPATING:

ATTEST:

-DocuSigned by:

Beth Minor

City Clerk

APPROVED AS TO FORM:

DocuSigned by: Sandra W 36C6B9D557AF4F3

Senior Assistant City Attorney

DocuSianed by Confor Selve

Mayor

APPROVED:

DocuSigned by:

City Manager

—Docusigned by: Hillary Gitclman

Director of Planning & Community Environment



#### **Certificate Of Completion**

Envelope Id: 20EF0765CD134174890DEA9623AAA80D Subject: Please DocuSign this document: ORD 5412 ADU Ordinance.pdf Source Envelope: Document Pages: 21 Signatures: 5 Supplemental Document Pages: 0 Initials: 0 Certificate Pages: 5 AutoNav: Enabled Payments: 0 EnvelopeId Stamping: Enabled Time Zone: (UTC-08:00) Pacific Time (US & Canada)

#### **Record Tracking**

Status: Original 5/17/2017 9:54:28 AM

#### Signer Events

Sandra Lee Sandra.Lee@CityofPaloAlto.org Assistant City Attorney Security Level: Email, Account Authentication (None)

Electronic Record and Signature Disclosure: Not Offered via DocuSign ID:

Hillary Gitelman

Hillary.Gitelman@CityofPaloAlto.org

Security Level: Email, Account Authentication (None)

Electronic Record and Signature Disclosure: Not Offered via DocuSign ID:

James Keene james.keene@cityofpaloalto.org

City Manager

City of Palo Alto

Security Level: Email, Account Authentication (None)

Electronic Record and Signature Disclosure: Accepted: 4/14/2015 5:40:07 PM ID: 44fe333a-6a81-4cb7-b7d4-925473ac82e3

H. Gregory Scharff greg.scharff@cityofpaloalto.org

Mayor

City of Palo Alto

Security Level: Email, Account Authentication (None)

Electronic Record and Signature Disclosure: Not Offered via DocuSign ID: Holder: Kim Lunt kimberly.lunt@cityofpaloalto.org

#### Signature

DocuSigned by: Sandra Lu 38C6B9D557AF4E3...

Using IP Address: 12.220.157.20

—Docusigned by: Hillary Gitelman —F07E6601F21E441...

Using IP Address: 12.220.157.20

Using IP Address: 50.174.200.162 Signed using mobile

Using IP Address: 70.213.10.4 Signed using mobile Status: Completed

Envelope Originator: Kim Lunt

250 Hamilton Ave Palo Alto , CA 94301 kimberly.lunt@cityofpaloalto.org IP Address: 12.220.157.20

Location: DocuSign

#### Timestamp

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Sent: 5/17/2017 11:12:09 AM Viewed: 5/22/2017 7:06:37 AM Signed: 5/22/2017 7:07:13 AM

Sent: 5/22/2017 7:07:15 AM Viewed: 5/22/2017 7:22:29 AM Signed: 5/22/2017 7:26:07 AM

Signer Events	Signature	Timestamp			
Beth Minor Beth.Minor@CityofPaloAlto.org City Clerk City of Palo Alto Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign ID:	DocuSigned by: Beth Minos 45F95502DB71492 Using IP Address: 12.220.157.20	Sent: 5/22/2017 7:26:10 AM Viewed: 5/22/2017 8:03:50 AM Signed: 5/22/2017 8:04:20 AM			
In Person Signer Events	Signature	Timestamp			
Editor Delivery Events	Status	Timestamp			
Agent Delivery Events	Status	Timestamp			
Intermediary Delivery Events	Status	Timestamp			
Certified Delivery Events	Status	Timestamp			
Carbon Copy Events	Status	Timestamp			
Notary Events		Timestamp			
Envelope Summary Events	Status	Timestamps			
Envelope Sent	Hashed/Encrypted	5/22/2017 7:26:10 AM			
Certified Delivered	Security Checked	5/22/2017 8:03:50 AM			
Signing Complete	Security Checked	5/22/2017 8:04:20 AM			
Completed	Security Checked	5/22/2017 8:04:20 AM			
Payment Events	Status	Timestamps			
Electronic Pacard and Signature Disclosure					

Electronic Record and Signature Disclosure

Tom and Nola Lundy 4809 Comfrey Place, Santa Rosa CA 95405 (707) 538-1305

Jackelyn Lundy 34245 Corcoran Hill Lane Davis, CA 95616 (530) 848-7247

November 20, 2017

City of Palo Alto Planning Commission c/o Clare Campbell

Re: Proposed ADU Cottage at 592 Loma Verde Avenue

Dear Ms.Campbell,

At the suggestion of Elena Lee we are forwarding this letter to you in the hope that our matter can be considered at the upcoming meeting on November 29.

We are requesting consideration of a very minor amendment to the ADU ordinance which would correct an unfair consequence of that ordinance and, at the same time, produce a positive result for the City of Palo Alto.

The planning a 900 square foot ADU cottage began in early 2016. (See attached email from architect David Mokhber.) As Mr. Mokhber's email shows, the design, architectural work and engineering of the project was all completed in late March, 2017, the building permit application was submitted in early May, and by early June we were on schedule to begin construction in July.

On June 7, 2017, however, we learned **for the first time** about the new ADU ordinance which would required us to execute a deed restriction precluding rental of the main house and ADU to separate tenants. (See Item 9 of attached letter from

Garrett Sauls.) This deed restriction made the project financially infeasible for us.<sup>1</sup> Therefore, we asked the Planning Commission to allow us to proceed under the prior ordinance since we had unwittingly planned and developed our project prior to enactment of the new ordinance.

But, the Planning Commission's hands were tied because the new ordinance did not specifically address our situation -- an applicant who planned and developed their project under the old ordinance but did not formally obtain a final building permit before the effective date of the new ordinance, June 7, 2017. Because this question was not addressed in the ordinance, the Commission had no discretion to allow us to proceed under the old ordinance.

As a result, the only apparent option for rectifying this unfairness – and for avoiding the loss to the City of a needed small rental unit -- would be amendment of the ordinance to allow applicants in our situation to proceed under the old ordinance.

Such an amendment seems like a reasonable solution. It would both prevent the unfair forfeiture of our time and money and enable the City to add a rental unit – which otherwise will not be built -- to the City's housing inventory.

Thank you in advance for your consideration of this request.

Sincerely,

Tom Lundy for Tom and Nola Lundy Jackie Lundy

<sup>1</sup>Our business model is based on reaching Palo Alto's smaller rental unit market which, in our experience, is strong. The deed restriction would prevent us from targeted that market because, instead of having a 1700 sq. ft. house and a 900 sq. ft. cottage which could be rented to different tenants, we would end up with 2600 sq. ft. of rental space that could only be rented to one tenant. Ps. Attached are the following supporting documents which I am hoping can be printed and submitted with the letter if you think they would be helpful:

1. Building plans, engineering, drainage plan – all completed prior to enactment of the new ordinance.

2. Email from architect documenting contacts with the City, including unsuccessful attempt to submit permit application in late March 2017 and successful application in early May.

3. Copy of receipt for permit filed May 8, 2017 at 12:53 PM.

4. Garrett Sauls letter of June 7, 2017.

Cc. Elena Lee



PLANNING & COMMUNITY ENVIRONMENT

OF 250 Hamilton Avenue, 5th Floor
Palo Alto, CA 94301
650.329.2441

#### CITY OF PALO ALTO PLANNING DIVISION- CORRECTION LIST

Date:June 7, 2017Address:592 Loma Verde AvenuePermit #17000-00992Reviewed by:Garrett Sauls

**IMPORTANT NOTICE:** Please return both this correction list and any marked drawings or calculations along with your revised drawings when submitting corrections to the Building Department. Please reference on the correction list where on the plans the corrections have been made to assist in providing a more timely review.

- 1. Please adjust the scope of work for the project to include the construction of the new garage.
- 2. No AC units were shown on the plans; if AC units will be included in this scope please update the site plan to show the AC unit location. Also new AC units must be shown to comply with Palo Alto Municipal Code Section 9.10 (PAMC 9.10 "Noise") and cannot be located within interior yard setbacks per PAMC Section 18.12.040(l) location of noise-producing equipment. Within this area of Palo Alto noise producing equipment are allowed to produce no more than 66db measured at the property line. Please provide specifications (spec sheets) for the AC units indicating their db range and update the plans to include model numbers and code compliant location.
- 3. Per the Building Permit Submittal Requirements, the Site Plan must be drawn to a scale of 1/8'' = 1'. Please submit a revised site plan measured to this scale.
- 4. Please include the following information on the site plan: all trees located on the property along with their species, the public right of way, street tree location (see attached parcel report).
- 5. There is a public utility easement that runs along the northern and eastern side of the property that is not indicated on the site plan. Our records indicate that both are about 10 feet from the property line. Please show the utility easement on the site plan. (see attached parcel report)
- 6. On site plans from 2013 there appears to be a deck located in the rear yard of the property that is not indicated on the site plan. Please include and indicate all structures and paving for the property on the site plan.
- On page A-2 the proposed garage has dimensions of 10'x20' from exterior wall to exterior wall. Per PAMC 18.54.20(b)(2), interior dimensions for covered/garage parking must be 10'x20'. Please revise the plan and FAR/Lot Coverage calculations to reflect these dimensions.



PLANNING & COMMUNITY ENVIRONMENT

250 Hamilton Avenue, 5th Floor Palo Alto, CA 94301 650.329.2441

- 8. Please submit a completed T-1 sheet (signed) and update the site plan to include the Tree Protection Zone for any protected trees such as heritage trees (oak/redwood) or protected trees in the public right of way as instructed by the T-1 Tree Protection sheet. If the proposed work is within the TPZ then an arborist report would need to be submitted and modification to the project based on the assessment by the arborist may also be required. You may find copies of the T-1 Tree Protection Sheet here; http://www.cityofpaloalto.org/civicax/filebank/documents/6460.
- 9. Prior to approval for a building permit, a deed restriction will be required for the new cottage on the property. Information about what needs to be in the deed restriction can be found in section 18.42.040(a)(9)(vi) of the new ADU ordinance. Here is the link to the new ADU ordinance: <a href="http://www.cityofpaloalto.org/civicax/filebank/documents/57945">http://www.cityofpaloalto.org/civicax/filebank/documents/57945</a>.
- 10. Due to the increase in net dwelling units on the property, new development impact fees will be assessed for the property. The impact fee is estimated to be \$9,371. You can find information about development impact fees here;<u>http://www.cityofpaloalto.org/civicax/filebank/documents/27226</u>.

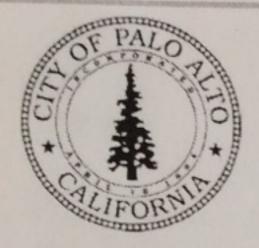
If you have any questions, please contact me by e-mail <u>garrett.sauls@cityofpaloalto.org</u> or by phone at 650-329-2471 to discuss the above comments prior to resubmitting.

Sincerely,

orthe Bark

Garrett Sauls

Planning Technician



### CITY OF PALO ALT **DEVELOPMENT CEN** 285 HAMILTON AVEN PALO ALTO, CA 943 (650) 329-2496

### **OWNER:** LUNDY TOM TRUSTEE & ET AL **CONTRACTOR:** LINK CORPORATION **PROPERTY ADDRESS: 592 LOMA VERDE AV RECEIPT NUMBER: 326956 RECEIPT DATE: 5/8/2017 12:53:07PM PERMIT NUMBER: 17000-00992**

FEE DESCRIPTION		SUBFUND-ACTIVITY	UNITS	FEE AMOUNT
Building Plan Check Fee		65030001 1337	1	\$2,434.27
Fire Plan Check - Residential		65050001 1337	1	\$100.00
Zoning Plan Check Fee		65020001 1323	1	\$912.85
			Amount Due:	\$3,447.12
	Check		Amount Paid:	\$3,447.12

Comment: CHECK #50427

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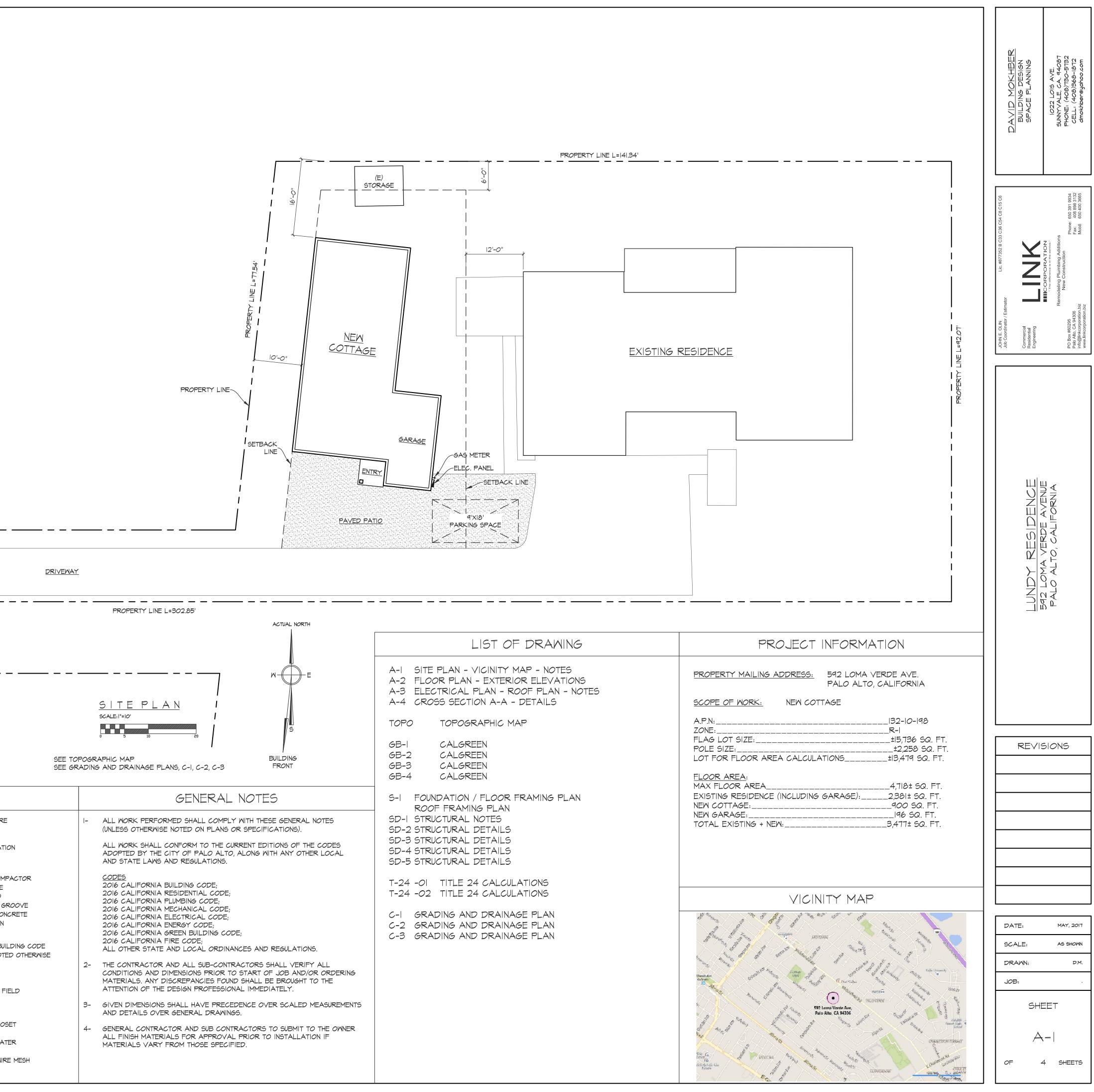
Print Date: 05/08/2017 Type: Project Sub-Type: Building Permit Category: Building Permit

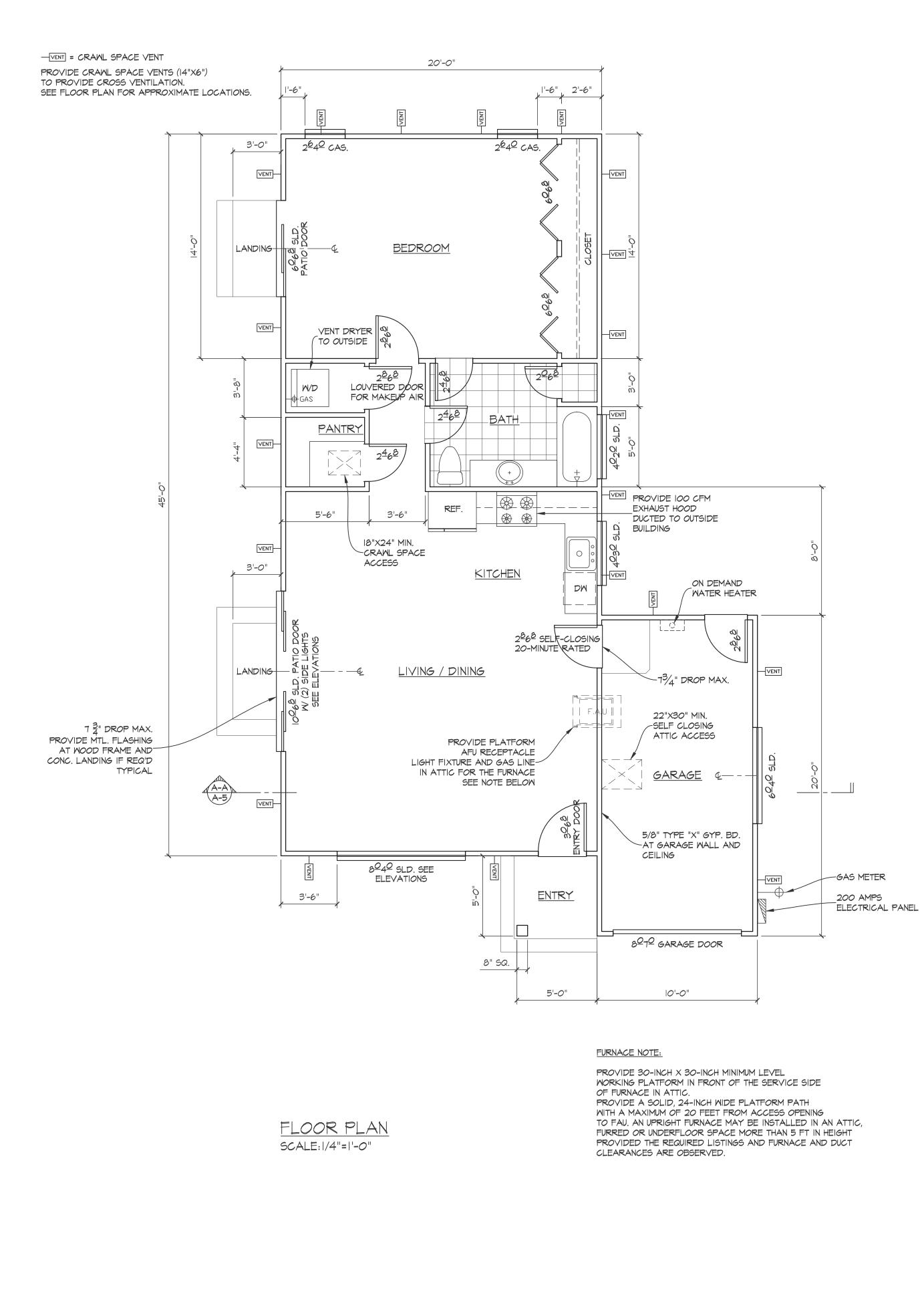
> T8108-D Version 4.0

LOMA VERDE AVENUE	
	PROPERTY LINE L=149.74'
PROPERTY LINE L=15.36'	

#### ABBREVIATIONS

0	AT	F.A.U.	FORCED AIR UNIT	MAX.	MAXIMUM	S.C.	SOLID CORE
ADJ.	ADJACENT	FND.	FOUNDATION	MECH.	MECHANICAL	SIM.	SIMILAR
ALUM.	ALUMINUM	F.J.	FLOOR JOIST	MEMB.	MEMBRANE	SLD.	SLIDER
		FLR. JST.	FLOOR JOIST	MFR.	MANUFACTURER	SPEC.	SPECIFICATIO
BD.	BOARD	FLUOR.	FLUORESCENT	MIN.	MINIMUM	SQ.	SQUARE
BDRM.	BEDROOM	F.O.C.	FACE OF CONCRETE	MIR.	MIRROR	S.L.	SKYLIGHT
BLKG.	BLOCKING	F.O.S.	FACE OF STUD	MSTR. BDRM.	MASTER BEDROOM	T.C.	TRASH COMP
BLK.	BLOCK	F.O.W.	FACE OF WALL	MTL.	METAL	TEL.	TELEPHONE
BM.	BEAM	F.O.F.	FACE OF FRAMING			TEMP.	TEMPERED
		FT.	FOOT / FEET	(N)	NEW	T⊑I¶≓. T¢G.	TONGUE & GR
C.B.	CATCH BASIN			N.T.S.	NOT TO SCALE	T∉G. T.O.C.	TOP OF CON
C.J.	CEILING JOIST					T.O.C. TV.	TELEVISION
CONC.	CONCRETE	GAL.	GALVANIZED	0/	OVER		
CONT.	CONTINUOUS	GFI.	GROUND FAULT	OBS	OBSCURE	TYP.	TYPICAL
			CIRCUIT INTERRUPTER	<i>O.C</i> .	ON CENTER	UBC.	UNIFORM BUIL
D.	DRYER	GYP.	GYPSUM	<i>0\</i> .	ØVEN	U.N.O.	UNLESS NOTE
DBL.	DOUBLE						
DN.	DOWN	H.B.	HOSE BIB	PL.	PLATE	VER.	VERTICAL
DR.	DOOR	HDR.	HEADER	PLYWD.	PLYWOOD	VOL.	VOLUME
D.S.	DOWNSPOUT	HR.	HOUR	PLY.	PLYWOOD	V.I.F	VERIFY IN FI
DW.	DISHWASHER			PNL.	PANEL		
DWG.	DRAWING	INT.	INTERIOR	P.T.	PRESSURE TREATED	Μ/	MITH
						M.	WASHER
(E)	EXISTING	JST.	JOIST	R.A.	RETURN AIR	W.C.	WATER CLOS
EA.	EACH			REF.	REFRIGERATOR	WD.	WOOD
ELEC.	ELECTRICAL	KIT.	KITCHEN	REQD.	REQUIRED	M.H.	WATER HEAT
EXT.	EXTERIOR			R.O.	ROUGH OPENING	W/O	WITHOUT
		LAM.	LAMINATE	RDWD.	REDWOOD	WMM.	WELDED WIR
		LT.	LIGHT				









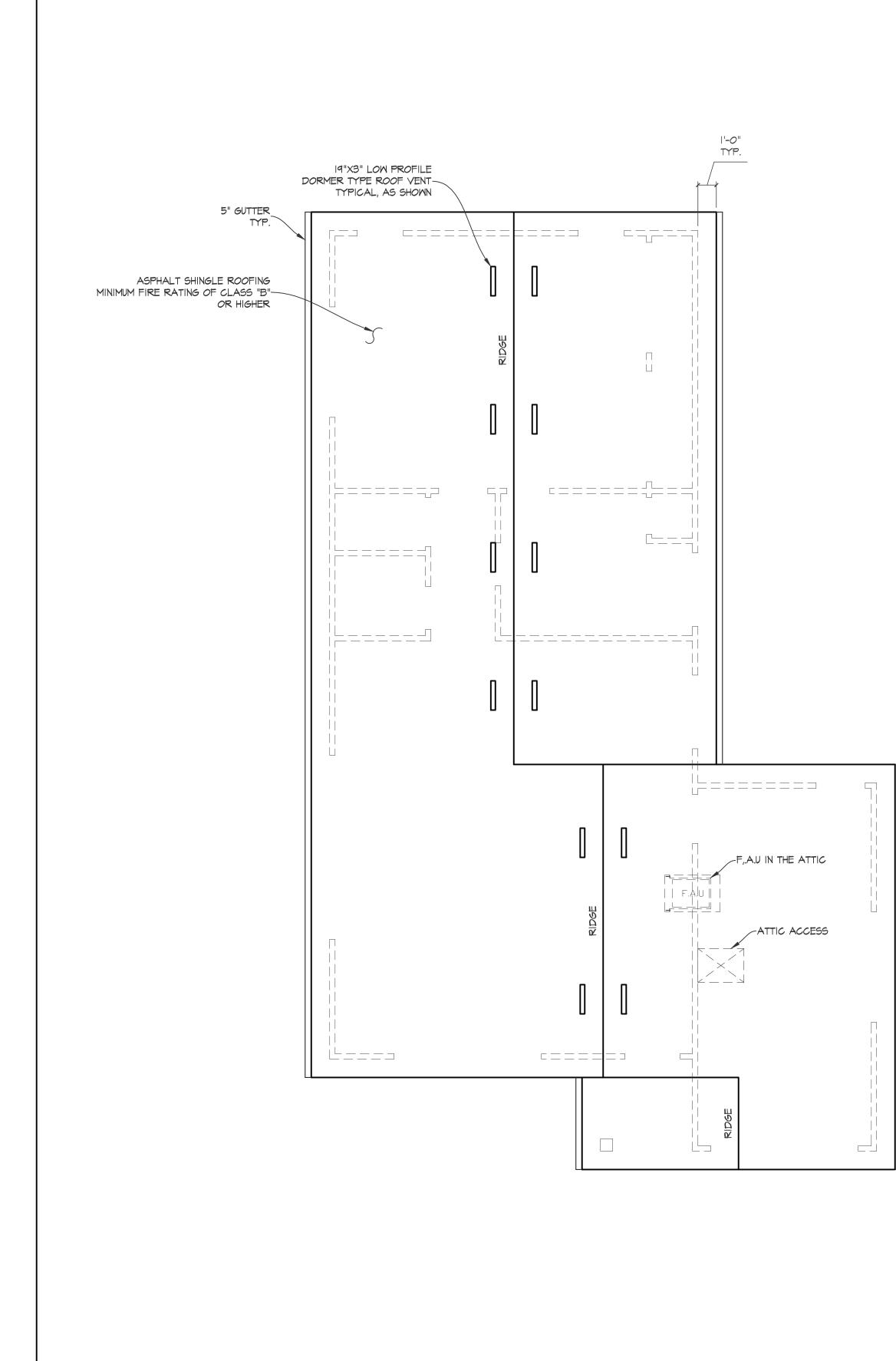




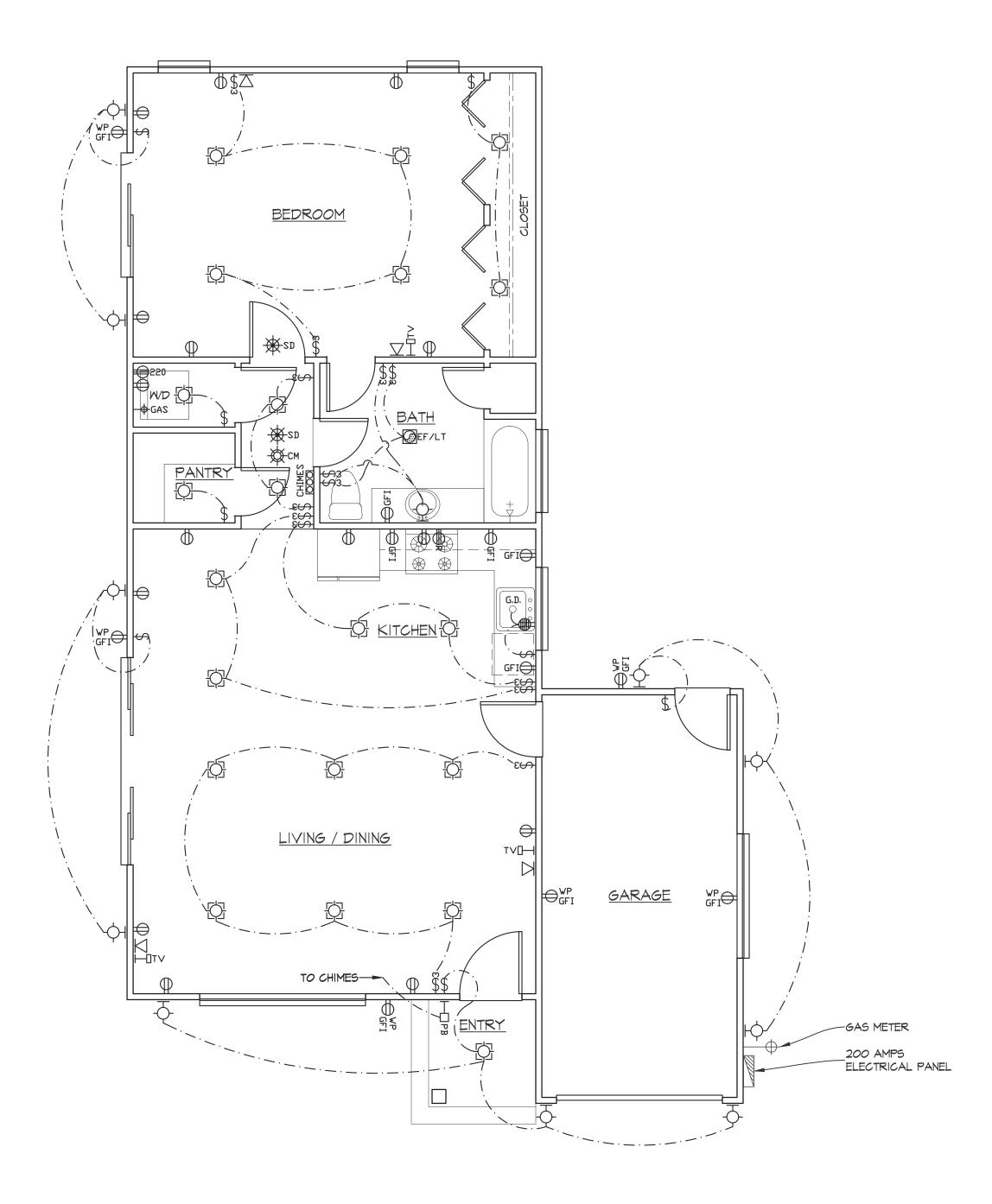


EAST ELEVATION (RIGHT SIDE) SCALE: |/4"=|'-0"

DAVID MOKHBER Building design Space planning	1022 LOIS AVE. SUNNYVALE, CA. 94087 PHONE: (408)730-5732 CELL: (408)368-1872 dmokhber®yahoo.com
JOHN E. OLIN Job Coordinator / Estimator Commercial Residential Engineering	PO Box #60295 Palo Alto. CA POCRATION The difference is in the service." Remodeling Plumbing Additions New Construction Phone: 650 391 9934 Palo Alto. CA 94306 Palo Palo Alto. CA 94306 Palo Palo Alto. CA 94306 Palo Palo Palo Palo Palo Palo Palo Palo
LUNDY RESIDENCE	PALO ALTO, CALIFORNIA
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ROOF PLAN SCALE: |/4"=|'-0"



ELECTRICAL PLAN SCALE: 1/4"=1'-0"

ELECTRIC	AL SYMBOL LEGEND
$\Rightarrow$	DUPLEX RECEPTACLE OUTLET
	QUADRUPLEX RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET UNDER COUNTER
€220	220 V RECEPTACLE OUTLET
₩R	RANGE RECEPTACLE OUTLET
−⊖GFI	DUPLEX RECEPTACLE OUTLET GROUND FAULT CIRCUIT INTERRUPTER
-⇔ <sup>WP</sup> <sub>GFI</sub>	DUPLEX RECEPTACLE OUTLET WEATHERPROOF
	CEILING FIXTURE
- ¢-	RECESSED CEILING FIXTURE
Г-ф-	WALL MOUNTED FIXTURE
EF/LT	EXHAUST FAN WITH LIGHT
- <del>()</del>	SINGLE POLE SWITCH
	THREE-WAY SWITCH
	FOUR-WAY SWITCH
$\square$	INTERCONNECTING TELEPHONE
	COMPUTER DATA OUTLET
	TELEVISION ANTENNA
SD SD	SMOKE DETECTOR
ф-см	CARBON MONOXIDE ALARM
000	CHIMES
⊢□РВ	PUSH BOTTON

ELECTRICAL NOTES:

\* TWO OR MORE 20-AMPERE SMALL APPLIANCE BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE RECEPTACLES OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS.

<u>NOTE:</u> THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES - ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS INCLUDING THE REFRIGERATOR.

\* A DEDICATED 20-AMP CIRCUIT IS REQUIRED TO SERVE THE REQUIRED BATHROOM OUTLETS. IT SHALL BE INSTALLED ON A WALL/PARTITION WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN OR INSTALLED ON THE SIDE/FACE 12" MAX BELOW THE COUNTERTOP. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.

\* ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DINING ROOM, BEDROOM, SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER.

\* ALL 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

\* AN EXTERIOR RECEPTACLES MUST BE WITHIN 6 FEET 6 INCHES OF GRADE AND WATERPROOF

#### LIGHTING NOTES:

<u>A. KITCHENS</u> AT LEAST HALF THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY. HOWEVER, LIGHTING INSTALLED INSIDE CABINETS MAY NOT BE REQUIRED TO BE INCLUDED IN THE WATTAGE CALCULATION THAT DETERMINES WHETHER HALF OF THE INSTALLED WATTAGE IS HIGH EFFICACY.

<u>B. BATHROOMS</u> AT LEAST ONE LUMINAIRE IN EACH BATHROOM MUST BE HIGH EFFICACY. ALL OTHER LUMINAIRES IN A BATHROOM MUST BE EITHER HIGH EFFICACY, OR CONTROLLED BY VACANCY SENSORS.

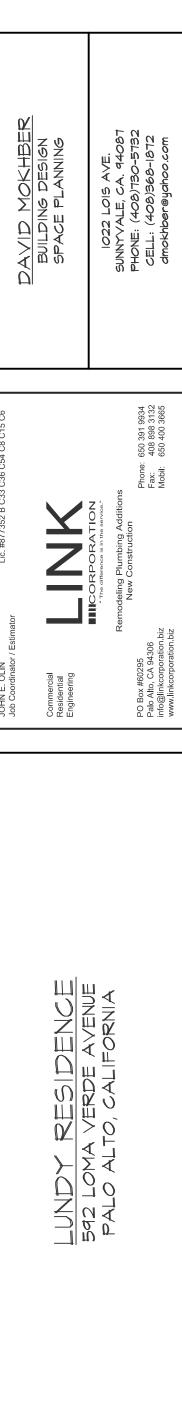
<u>C. OTHER ROOMS</u> ALL INSTALLED LUMINAIRES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 FT<sup>2</sup> ARE EXEMPT FROM THIS REQUIREMENT.

<u>D. OUTDOOR LIGHTING</u> IN SINGLE-FAMILY RESIDENCES, ALL LUMINAIRES MOUNTED TO THE BUILDING (OR TO OTHER BUILDINGS ON THE SAME LOT) SHALL BE HIGH EFFICACY LUMINAIRES, OR SHALL BE CONTROLLED BY A MOTION SENSOR AND ALSO BY A PHOTOCONTROL, ASTRONOMICAL TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM (EMCS).

#### NOTE:

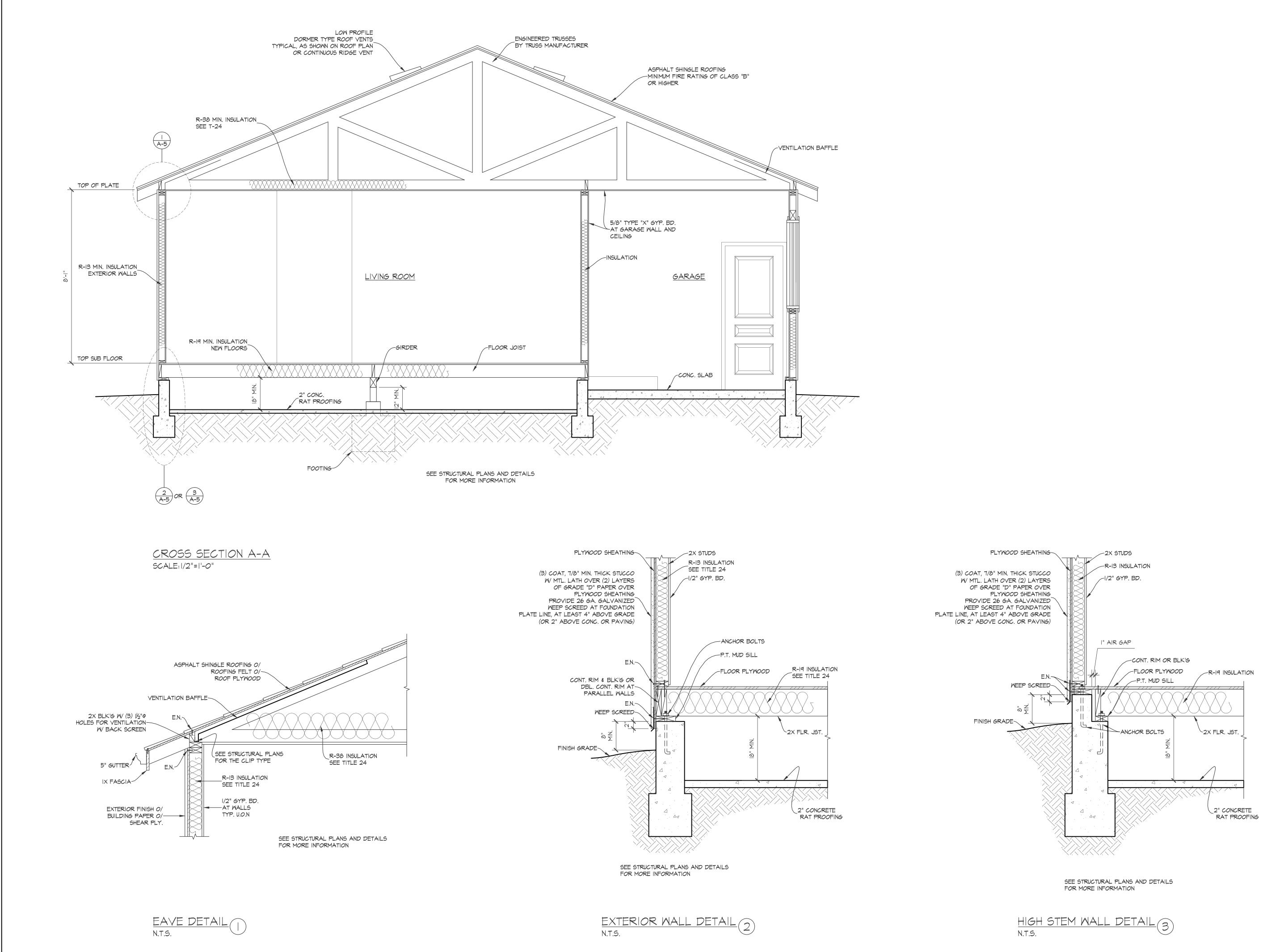
ALL BRANCH CIRCUITS THAT SUPPLY

125-VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLE OUTLETS, INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTERS.

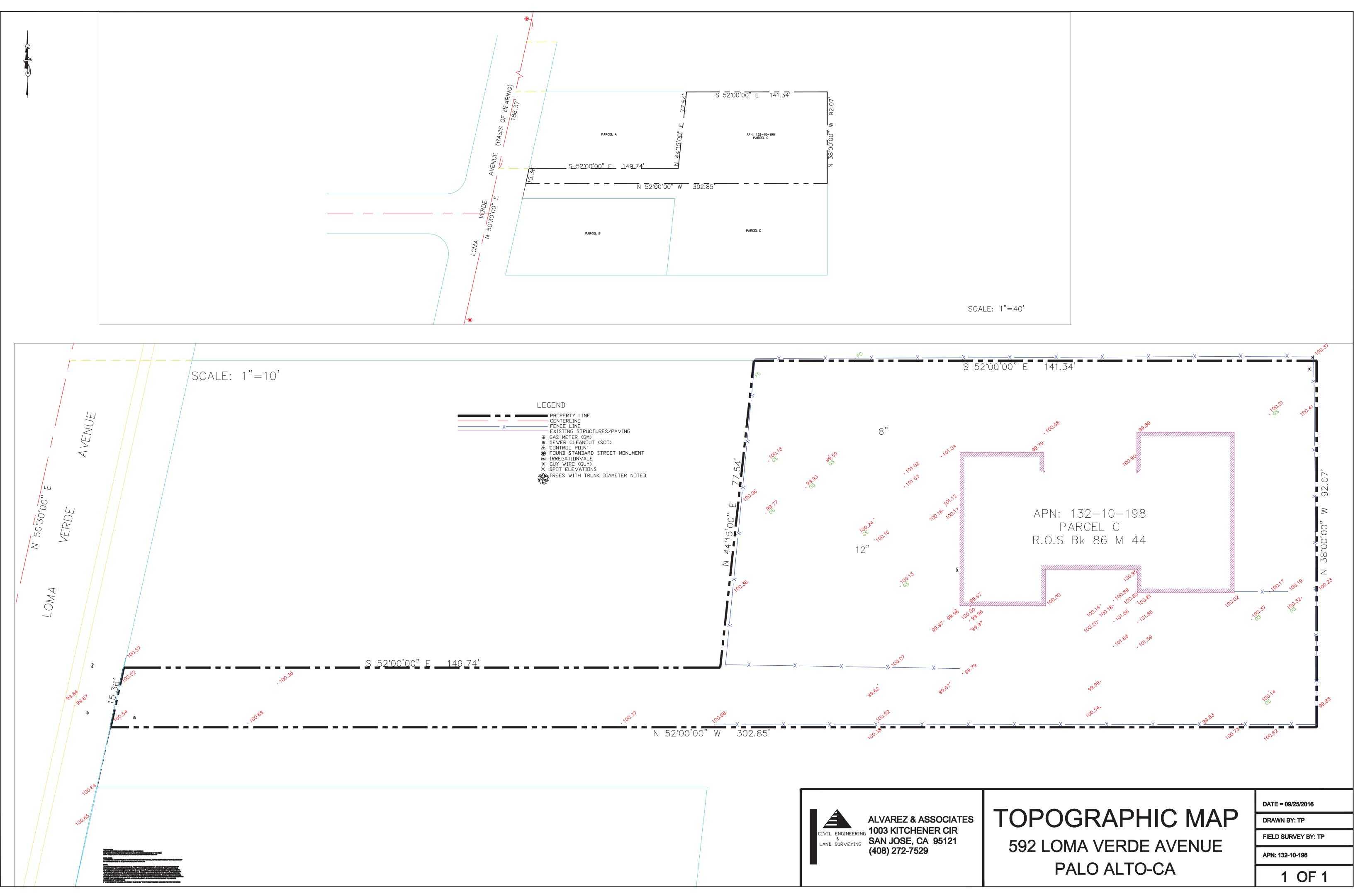


REVISIONS

DATE:	MAY, 2017
SCALE:	AS SHOWN
DRAWN:	D.M.
JOB:	
5	HEET
ļ-	4-3
0F 2	f sheets



DAVID MOKHBER BUILDING DESIGN SPACE PLANNING	1022 LOIS AVE. SUNNYVALE, CA. 94087 PHONE: (408)730-5732 CELL: (408)368-1872 dmokhber®yahoo.com
JOHN E. OLIN Job Coordinator / Estimator Commercial Residential Engineering	PD Box #60295 PO Box #60295 Palo Alto, CA 94306 Info@linkcorporation biz www.linkcorporation.biz Phone: 650 391 9934 Fax: 408 898 3132 Mobil: 650 400 3665
LUNDY RESIDENCE	PALO ALTO, CALIFORNIA
	BIONS
DATE: SCALE: DRAWN: JOB: SHE A= OF 4	



art 1 Part 2 TIAL CORR	art 1 Pa	ction	Roug Inspe	heck	Plan C				
					CORR	Plan Sheet, Spec or N Attachment Reference	Code Section V	and Design	.1 Planning a
			CORR			GB-2	PAMC 16.14.135/ A4.105.3	Deconstruction survey (locally amended)	Mandatory
						GB-2	4.106.2	Storm water drainage and retention during construction (less than one acre)	Mandatory
						GB-2 - C1 - C2	4.106.3	Grading and paving	Mandatory
						X Not Applicable	PAMC 16.14.150/ 4.106.4	Electric Vehicle (EV) Charging for new residential construction (locally amended)	Mandatory
						X Not Applicable	PAMC 16.14.420/ A4.106.8.2	EV Charging: New single family residences (locally amended)	Mandatory
						X Not Applicable	PAMC 16.14.420/ A4.106.8.3	EV Charging: Multifamily residential structures (locally amended)	Mandatory
						× Not Applicable	PAMC 18.54.060/ A4.106.9	Bicycle Parking (locally amended) (Multi-family only)	Mandatory
<b>B</b>	<u>I</u>							ciency and Conservation	.3 Water Effi
					C	GB-2	4.303.1.1	Indoor Water Use: Water closets (1.28 gpf)	Mandatory
						X GB2 - Not Applicable	4.303.1.2	Indoor Water Use: Urinals (Wall Mounted 0.125 gpf, all others 0.5 gpf)	Mandatory
						GB-2	4.303.1.3.1 ×	Indoor Water Use: Single showerhead (2.0 gpm at 80 psi)	Mandatory
						GB2 - Not Applicable	4.303.1.3.2 ×	Indoor Water Use: Multiple showerheads serving one shower (2.0 gpm at 80 psi)	Mandatory
						GB2	4.303.1.4.1 ×	Indoor Water Use: Residential lavatory faucets (1.2 gpm at 60 psi)	Mandatory
						GB2 - Not Applicable	4.303.1.4.2	Indoor Water Use: [Multi-family Only] Lavatory faucets in common and public use areas	Mandatory
						GB2 - Not Applicable	4.303.1.4.3 ×	Indoor Water Use: Metering faucets (0.25 gallons per cycle)	Mandatory
						X GB-3	4.303.1.4.4	Indoor Water Use: Kitchen faucets (1.8 gpm at 60 psi)	Mandatory
						Sheet A-1	4.303.2 ×	Indoor Water Use: Standards for plumbing fixtures and fittings (Meet 2016 Plumbing Code)	Mandatory
						GB-3	Title 23, Chapter 2.7/ 4.304.1	Outdoor potable water use in landscape area	Mandatory
								conservation and Resource Efficiency	.4 Material C
						GB-3	4.406.1 ×	Rodent proofing	Mandatory
1						GB-3	PAMC 16.14.260/ A4.408.1 ×	Enhanced construction waste reduction- 75% Diversion (Locally amended if project valuation conditions are met)	Mandatory
1						GB-3	4.408.2 ×	Construction waste management plan in Green Halo	Mandatory
1						GB-3	4.408.3 ×	Waste management company	Mandatory
						GB-3	4.410.1 ×	Operation and maintenance manual	Mandatory
						GB-3	4.410.2 ×	Recycling by occupants	Mandatory
					•			ental Quality	5 Environm
						X GB4- Not Applicable	4.503.1	Fireplaces	Mandatory
1						GB-4	4.504.1 ×	Covering of duct openings and protection of mechanical equipment during construction	Mandatory
1						GB-4	4.504.2.1 ×	Adhesives, sealants and caulks - Table 4.504.1 and 4.504.2	Mandatory
						GB-4	4.504.2.2 ×	Paints and coatings - Table 4.504.3	Mandatory
1						GB-4	4.504.2.3 ×	Aerosol paints and coatings	Mandatory
						GB-4	4.504.3 ×	Carpet systems	Mandatory
						GB-4	4.504.3.1 ×	Carpet systems: Carpet cushion	Mandatory
						GB-4	4.504.3.2 ×	Carpet systems: Carpet adhesive	Mandatory
						GB-4	4.504.4 ×	Resilient flooring systems for 80%	Mandatory
1						GB-5	4.504.5 ×	Composite wood products	Mandatory
						GB-5	4.505.2 ×	Concrete slab foundations	Mandatory
						GB-5	4.505.2.1 ×	Capillary break	Mandatory
						GB-5	4.505.3 ×	Moisture content of building materials	Mandatory
						GB-5	4.506.1 ×	Bathroom exhaust fans	Mandatory
						GB-5	4.507.2 ×	Heating and air conditioning system design	Mandatory
						GB-4 GB-5 GB-5 GB-5 GB-5 GB-5 GB-5	4.504.4       ×         4.504.5       ×         4.505.2       ×         4.505.2.1       ×         4.505.3       ×         4.505.4       ×	Resilient flooring systems for 80%         Composite wood products         Concrete slab foundations         Capillary break         Moisture content of building materials         Bathroom exhaust fans	Mandatory Mandatory Mandatory Mandatory Mandatory

The <u>Green Building Survey</u> is a required project submittal. The survey can be found at the following <u>link.</u> The survey shall be completed on Survey Monkey and a screenshot shall be included on a seperate page in this plan set. Please indicate the reference page here \_\_\_\_\_\_.

PALO ALTO

Title 24, Part 11, California Green Building Code (CALGreen) City of Palo Alto Green Building Program and Resources City of Palo Alto Green Building Ordinance 5393 (PAMC 16.14 Amendments) Leaend:<br/>Y -Yes; the measure is in the scope of workN -No; the measure is not in the scope of work

The <u>Green Building Survey</u> is a required project submittal. The survey can be found at the following <u>li</u> Survey Monkey and a screenshot shall be included on a seperate page in this plan set. page here \_\_\_\_\_\_.

Contact Information	of Individual Completing the Survey	
ame	John Olin	
ompany	Link Corporation	
mail Address	info@linkcorporation.biz	
. Permit Number:		
eave blank if permit has no	t been issued.	
. Street Number:		
592		
. Street Name:		
Loma Verde		
Valuation (\$):		
170000		
. Project Square Feet (	Gross):	
900		
Energy Use Savings I	Baseline Case	
	4 Energy Calculations shown on the permit plans. Leave blank if the project is not subject to the California Ener	'gy
ode. Energy Use: Standard		
esign (MWh) Compliance otal:	2.652	
Energy Use: Standard		
esign (therms) Compliance otal:	162	
Energy Use: Standard		
esign TDV (kBtu/ft2-yr) ompliance Total:	32.6	
. Energy Use Savings I	Design Case	
	4 Energy Calculations shown on the permit plans. Leave blank if the project is not subject to the California Ene	gy
ode. Energy Use: Proposed		
esign (MWh) Compliance otal:	1.057	
Energy Use: Proposed		
esign (therms) Compliance otal:	156	
Energy Use: Proposed		
esign TDV (kBtu/ft2-yr) ompliance Total:	28.2	
omphanoe rotat.		
. Energy Use: Complia	nce TDV Margin (kBtu/ft2-yr) Compliance Total:	
10	4 Energy Calculations shown on the permit plans. Leave blank if the project is not subject to the California Ene	עפי
ode. 4.4		
	- Baseline Case (gal/yr)	
ntry must match the Outdo	or Water Use Calculations shown on the permit plans. Leave blank if you do not have a landscaping scope.	
1. Outdoor Water Use	- Design Case (gal/yr)	
ntry must match the Outdo	or Water Use Calculations shown on the permit plans. Leave blank if you do not have a landscaping scope.	
2. Indoor Water Use - E	Baseline Case (gal/yr) - Non-Residential Only	
ntry must match Indoor Wa	ter Calculations shown on the permit plans. Leave blank if the project does not include interior flow or flush	
xtures.		
3. Indoor Water Use - [	Design Case (gal/yr) - Non-Residential Only	
ntry must match water calc	ulations on the GB-2 plan sheet. Leave blank if the project does not include interior flow or flush fixtures.	

## 2016 RESIDENTIAL GREEN BUILDING

 ALGreen)
 http://www.bsc.ca.gov/Home/CALGreen.aspx

 Resources
 http://www.cityofpaloalto.org/gov/depts./ds/green\_building/compliance.asp

 endments)
 https://www.cityofpaloalto.org/civicax/filebank/documents/54976\_

; <u>link</u> . The survey shall be completed on Please indicate the reference	Acknowledgement         This project is required to comply with the State California Green Building Code (T24 Part 11) and the City of Palo Alto's local amendments (PAMC 16.14). I, the property owner / legal representative, acknowledge and understand the requirements and penalties for noncompliance (\$50 per ton of waste not diverted from the landfill with a minimum of \$1000, and \$500 a day for noncompliance with the remaining green building measures). I am responsible for all activities performed by design team members, contractors and subcontractors in meeting the requirements.         Note: In lieu of a signature, an attachment letter is acceptable if the owner is not local and cannot sign this GB-1 sheet.         Margin: Statement Sta	ess: erde Ave., Palo Alto, CA ENTIAL CHECKLIST- CALGREEN MANDATORY
		Project Address: 592 Loma Verde A 2016 RESIDENTI/
	Version 1/17 It is for multi-family and single-family new	GB-1
	0 SF, or addition or alterations less than uildings conditioned area, volume, or size.	

## 4.1 PLANNING AND DESIGN

#### Section A4.105 Deconstruction and Reuse of Existing Materials.

Section A4.105 is adopted as a Tier 1 and Tier 2 elective measure and is amended to read:

#### A4.105.1 General.

Existing buildings on the site are deconstructed and the salvaged materials are reused. Reused materials or products must comply with the current building standards requirements or be an accepted alternate method or material. Salvaged materials may be reused onsite or for a different project.

The Chief Building Official may require documentation confirming that salvageable materials have been reused.

#### 16.14.140

#### A4.105.2 Reuse of materials.

Non-hazardous materials which can be easily reused include but are not limited to the following:

- Light fixtures
- 2. Plumbing fixtures
- 3 Doors and trim
- 4 Masonry
- 5. Electrical devices
- 6. Appliances
- Foundations or portions of foundations 7.

Note: Reused material must be in compliance with the appropriate Title 24 requirements.

4.106.2 Storm water drainage and retention during construction. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of

adjacent property, prevent erosion and retain soil runoff on the site. 1. Retention basins of sufficient size shall be utilized to retain storm water on the site.

Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.

3. Compliance with a lawfully enacted storm water management ordinance

#### A4.106.2.3 Topsoil protection.

Topsoil shall be protected or saved for reuse as specified in this section.

Tier 1. Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.

Note: Protection from erosion includes covering with tarps, straw, mulch, chipped wood, vegetative cover, or other means acceptable to the enforcing agency to protect the topsoil for later use.

Tier 2. The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area. Heavy equipment or vehicle traffic and material storage outside the construction area shall be limited to areas that are planned to be paved.

#### 4.106.3 Grading and paving.

Construction plans shall indicate how the site grading or drainage system will manage all

surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following:

- Swales
- 2. Water collection and disposal systems
- 3 French drains
- 4 Water retention gardens

5. Other water measures which keep surface water away from buildings and aid in groundwater recharge.

Exception: Additions and alterations not altering the drainage path.

#### 16.14.150 Section A4.106.8 Electric Vehicle (EV) Charging for New Construction.

Section A4.106.8 is not adopted as a Tier 1 and Tier 2 elective

measure. Projects must comply with the mandatory electric vehicle supply equipment (EVSE) requirements stated in Section 4.106.4, as amended.

#### 16.14.150 Section A4.106.8 Electric Vehicle (EV) Charging for New Construction.

Section A4.106.8 is not adopted as a Tier 1 and Tier 2 elective measure. Projects must comply with the mandatory electric vehicle supply equipment (EVSE) requirements stated in Section 4.106.4, as amended.

#### A4.106.8.2 Single Family Residences.

The following standards apply to newly constructed detached and attached single family residences. In general. The property owner shall provide Conduit Only, EVSE-Ready Outlet, or EVSE Installed for each residence. Location. The proposed location of a charging station may be internal or external to the dwelling, and shall be in close proximity to an on-site parking space consistent with City guidelines, rules, and regulations.

#### A4.106.8.3 Multi-Family Residential Structures.

The following standards apply to newly constructed residences in a multi-family residential structure, except as provided in section A4.106.8.4.

Resident parking. The property owner shall provide at least one EVSE-Ready Outlet or EVSE Installed for each residential unit in the structure.

Guest parking. The property owner shall provide Conduit Only, EVSE-Ready Outlet, or EVSE Installed, for at least 25% of guest parking spaces, among which at least 5% (and no fewer than one) shall be EVSE Installed.

Accessible spaces. The percentage calculations and substantive requirements imposed by this section shall be applied separately to accessible parking spaces. Parking at accessible spaces where an EVSE is installed shall not be limited to electric vehicles. Minimum total circuit capacity. The property owner shall. ensure sufficient circuit capacity, as determined by the Chief Building Official, to support a Level 2 EVSE in every location where Circuit Only, EVSE-Ready Outlet or EVSE Installed is required. Location. The EVSE, receptacles, and/or raceway required by this section shall be placed in locations allowing convenient installation of and access to In addition, if parking is deed-restricted to individual residential units, the EVSE or receptacles required by subsection (a) shall be located such that each unit has access to its own EVSE or receptacle. Location of EVSE or receptacles shall be consistent with all City guidelines, rules, and regulations.

### A4.106.4 Water permeable surfaces.

Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following. Tier 1. Not less than 20 percent of the total parking, walking or patio surfaces shall be permeable. Tier 2. Not less than 30 percent of the total parking, walking or patio surfaces shall be permeable. Exceptions:

building is not carried through the project, the overall benefit can be The primary driveway, primary entry walkway and entry porch or landing shall not be included when calculating the area required to be a substantially reduced by the lack of knowledge and information permeable surface. provided to the

2. Required accessible routes for persons with disabilities as required by California Code of Regulations, Title 24, Part 2, Chapter 11A and/or Chapter 11B as applicable.

#### A4.106.5 Cool roof for reduction of heat island effect. Roofing materials for Tier 1 and Tier 2 buildings shall comply with this section: Exceptions:

pounds per square foot.

2. Roof areas covered by building integrated solar photovoltaic panels and building integrated solar thermal panels.

18.54.060 Bicycle Parking Facilities Bicycle parking facilities shall be provided for new buildings, addition or enlargement of an existing building, or for any change in the use that

# "CALGREEN NOTE"

Roof constructions that have a thermal mass over the roof membrane including areas of vegetated roofs, weighing at least 25

results in the need for additional vehicle parking facilities consistent with the parking requirements contained within Section18.52.040. Bicycle parking facilities required by Section 18.52.040 may contain bicycle parking elements of the types described in subsection (a) below, and arranged according to the layout requirements described in (b) below.

The department of planning and community environment maintains a list of Approved, Conditionally Approvable, and Prohibited types of bicycle racks and bicycle lockers. Bicycle racks and lockers not on the "Approved" list must be approved by the director. Likewise layout diagram examples specifying clearances and other aspects of bicycle parking areas are also available from the department of planning and community environment.

#### A4.103.1 Selection

A site which complies with at least one of the following characteristics is selected:

- An infill site is selected.
- A greyfield site is selected. 2.
- An EPA-recognized 3.

#### A4.103.2 Community connectivity.

Facilitate community connectivity by one of the following methods: Locate project within a 1/4-mile true walking distance of at least four basic services, readily accessible by pedestrians.

2. Locate project within a 1/2-mile true walking distance of at least seven basic services, readily accessible by pedestrians.

3. Other methods increasing access to additional resources. **Note:** Examples of services include, but are not limited to, bank, place of worship, convenience grocery, day care, cleaners, fire station, barber shop, beauty shop, hardware store, laundry, library, medical clinic, dental clinic, senior care facility, park, pharmacy, post office, restaurant, school, supermarket, theater, community center, fitness center, museum or farmers market. Other services may be considered on a case-by-case basis.

#### 16.14.120 Section A4.104 Site Preservation.

Section A4.104.1 is adopted as a Tier 1 and Tier 2 elective and is amended to read:

A4.104.1 Supervision and Education by a Special Inspector. Individuals with oversight

authority on the project, as defined in 16.14.090 of this code, who have been trained in

areas related to environmentally friendly development, can teach green concepts to

other members of the builder's staffand ensure training and written instruction has

been provided to all parties associated with the development of the project. Prior to the

beginning the construction activities, all the builder shall receive a written guideline and

instruction specifying the green goals of the project.

#### 16.14.130

**Note:** Lack of adequate supervision and dissemination of the project goals can

result in negative effects on green building projects. If the theme of green

various entities involved with the construction of the project.

#### A4.106.2.1 Soil analysis.

Soil analysis is performed by a licensed design professional and the findings utilized in the structural design of the building.

#### A4.106.2.2 Soil protection.

The effect of development on building sites is evaluated and the soil is protected by one or more of the following:

Natural drainage patterns are evaluated and erosion controls are implemented to minimize erosion during construction and after occupancy

Site access is accomplished by minimizing the amount of cut and fill needed to install access roads and driveways.

As allowed by other parts of the California Building Standards 3. Code underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed and the soil is replaced using accepted compaction methods.

### 4.3 WATER EFFICIENCY AND CONSERVATION

4.303.1.1 Water closets. gallons per flush. flush.

### 4.303.1.2 Urinals. 0.125 gallons per flush. gallons per flush.

4.303.1.3.1 Single showerhead. Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Water Sense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead.

4.303.1.4.1 Residential lavatory faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory faucets in common and public use areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

**4.303.1.4.3 Metering faucets.** Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle.

4.303.1.4.4 Kitchen faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. **Note:** Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

Option.

The effective flush volume of all water closets shall not exceed 1.28

Tank-type water closets shall be certified to the performance criteria of the U.S. EPA Water Sense Specification for Tank-type Toilets. **Note:** The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full

The effective flush volume of wall mounted urinals shall not exceed

The effective flush volume of all other urinals shall not exceed 0.5

4.304.1 Outdoor potable water use in landscape areas. After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following options:

A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent; or Projects with aggregate landscape areas less than 2,500 square feet may comply with the MWELO's Appendix D Prescriptive Compliance



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DWG. NO.

#### Notes:

The Model Water Efficient Landscape Ordinance and supporting documents are available (MWELO) at: http://www.water.ca.gov/wateruseefficiency/ land scapeordinance/

2. A water budget calculator is available at: http:// www.water.ca.gov/wateruseefficiency/landscapeordinance/

#### 16.14.220 Section A4.304.6 Irrigation Metering Device.

Section A4.304.4 is adopted as a Tier 1 and Tier 2 prerequisite and is amended to read:

A4.304.2.11rrigation Metering Device. Dedicated irrigation meters are to be installed in all new construction and rehabilitated landscapes when the landscape is greater than 1,000 square feet.

#### 16.14.230 Section A4.305 Water Reuse Systems.

Sections A4.305.1 through A4.305.3 are adopted as Tier 1 and Tier 2 electives and are amended to read:

A4.305.1 Gray water. Alternative plumbing piping is installed to permit the discharge from the clothes washer or other fixtures to be used for an irrigation system in compliance with the California Plumbing Code. A4.305.2 Recycled Water Piping. Based on projected availability, dual water piping is installed for future use of recycled water at the following locations:

Interior piping for the use of recycled water is installed to serve all water closets, urinals, and floor drains.

Exterior piping is installed to transport recycled water from the 2. point of connection to the structure. Recycled water systems shall be designed and installed in accordance with the California Plumbing Code.

A4.305.3 Recycled water for landscape irrigation. Recycled water is used for landscape irrigation.

Section A4.305.4 is added and adopted as Tier 1 and Tier 2 prerequisite and shall read as.

follows:

A4.305.4 Additions and alterations. All multifamily residential additions and alterations exceeds 1,000 square feet.

Section A4.305.5 is added and adopted a Tier 2 prerequisite and shall read as follows:

A4.305.5 Diverter Valve. Newly constructed Residential Buildings with a landscape area of any size shall install a three-way diverter valve in the drain-line of all laundry fixtures to assist-in the future installation of a "Laundry-to-Landscape" irrigation system.

**A4.305.5.11dentification.** The diverter valve shall be labeled as "LAUNDRY-TOLANDSCAPE CABABLE".

#### A4.303.1 Kitchen faucets.

The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 60 Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.5 gallons per minute at 60 psi.

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

#### A4.303.3 Appliances.

Install at least one qualified ENERGY STAR dishwasher or clothes washer

**Note:** See Section A5.303.3 for nonresidential dishwashers and clothes washers.

### 4.4 MATERIAL CONSERVATION AND **RESOURCE EFFICIENCY**

#### A4.403.2 Reduction in cement use.

As allowed by the enforcing agency, cement used in foundation mix design shall be reduced as follows:

**Tier 1.** Not less than a 20 percent reduction in cement use. Tier 2. Not less than a 25 percent reduction in cement use. **Note:** Products commonly used to replace cement in concrete mix designs include, but are not limited to:

- Fly ash.
- 2. Slag.
- 3. Silica fume.
- 4 Rice hull ash.

#### A4.405.3 Recycled content.

Comply with the requirements for recycled content in Section A4.405.3.1.

#### A4.405.3.1 Recycled content.

Use materials, equivalent in performance to virgin materials with a total (combined) recycled content value (RCV) of: **Tier 1.** The RCV shall not be less than 10 percent of the total material cost of the project.

Required Total RCV (dollars) = Total Material Cost (dollars) × 10 percent (Equation A4. 4-1) Tier 2. The RCV shall not be less than 15 percent of the total material cost of the project. Required Total RCV (dollars) = Total Material Cost (dollars) × 15 percent (Equation A4. 4-2) For the purposes of this section, materials used as components of the structural frame shall not be used to calculate recycled content. The structural frame includes the load bearing structural elements, such as wall studs, plates, sills, columns, beams, girders, joists, rafters and trusses. Notes:

Sample forms which allow user input and automatic calculation are located at www.hcd.ca.gov/ CALGreen.html and may be used to simplify documenting compliance with this section and for calculating recycled content value of materials or assembly products. 2. Sources and recycled content of some recycled materials can be obtained from CalRecycle if not provided by the manufacturer.

**A4.405.3.1.1 Total material cost.** Total material cost is the total estimated or actual cost of materials and assembly products used in the project. The required total recycled content value for the project (ir dollars) shall be determined by Equation A4.4-1 or Equation A4.4-2. Total material cost shall be calculated by using one of the methods specified below:

**Simplified method.** To obtain the total cost of the project, multiply the square footage of the residential structure by the square foot valuation established pursuant to the ICC Building Valuation Data (BVD) or other valuation data approved and/or established by the enforcing agency. The total material cost is 45 percent of the total cost of the project. Use Equations A4.4-3A or A4.4-3B to determine total material costs using the simplified method. Total material costs = Project square footage × square foot valuation 45 percent (Equation A4.4-3A) Total estimated or actual cost of project × 45 percent (Equation A4.4-3B)

2. **Detailed method.** To obtain the total cost of the project, add the estimated and/or actual costs of materials used for the project, including the structure (steel, concrete, wood or masonry); the enclosure (roof, windows, doors and exterior the interior walls, ceilings and finishes (gypsum board, ceiling tiles, etc.). The total estimated and/or actual costs shall not include fees, labor and installation costs, overhead, appliances, equipment, furniture or furnishings.

#### 4.406.1 Rodent proofing

Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.

#### 16.14.260 Section A4.408.1 Enhanced Construction Waste **Reduction**.

Section A4.408.1 is adopted as mandatory and is amended to read: Section A4.408.1 Enhanced Construction Waste Reduction. Nonhazardous construction and demolition debris generated at the site is diverted to recycle or salvage facilities. 75% construction waste reduction is required for all Residential Projects, including new construction, additions, and alterations, as long as the construction has a valuation exceeding \$25,000. Residential projects with a lower valuation shall remain subject to California Green Building Code Chapter 4 mandatory requirements.

4.408.2 Construction waste management plan. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for

future use or sale.

Specify if construction and demolition waste materials will be 2. sorted on-site (source-separated) or bulk mixed (single stream). Identify diversion facilities where the construction and demolition 3. waste material will be taken.

Identify construction methods employed to reduce the amount of 4.

# "CALGREEN NOTE"

construction and demolition waste generated.

5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

#### 4.408.3 Waste management company.

Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1

**Note:** The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

#### 4.408.5 Documentation.

Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes:

Sample forms found in "A Guide to the California Green Building" Standards Code (Residential)" located at

www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.

2. Mixed construction and demolition debris (C&D) processors car be located at the California Department of Resources Recycling and Recovery (CalRecycle).

#### 4.410.1 Operation and maintenance manual.

At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.

Operation and maintenance instructions for the following: 2. psi. Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.

Roof and yard drainage, including gutters and downspouts. Space conditioning systems, including condensers and air filters. Landscape irrigation systems. Water reuse systems.

3. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.

Public transportation and/or carpool options available in the area

Educational material on the positive impacts of an interior 5. relative humidity between 30–60 percent and what methods an occupant may use to maintain the relative humidity level in that range Information about water-conserving landscape and 6.

irrigation design and controllers which conserve water.

Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation. 8. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.

9. Information about state solar energy and incentive programs available.

10. A copy of all special inspection verifications required by the enforcing agency or this code.

#### 4.410.2 Recycling by occupants.

Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. **Exception:** Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 et seq. are not required to comply with the organic waste portion of this section.

#### A4.405.2 Concrete floors.

Floors that do not require additional coverings are used including but not limited to stained, natural or stamped concrete floors.

### A4.407.6 Door protection.

Exterior doors to the dwelling are covered to prevent water intrusion by one or more of the following: An awning at least 4 feet in depth is installed

- 2. 3
- 4.

A4.407.7 Roof overhangs. A permanent overhang or awning at least 2 feet in depth is provided at all exterior walls.

### **4.5 ENVIRONMENTAL QUALITY**

### **SECTION 4.503 FIREPLACES**

4.503.1 General. Any installed gas fireplace shall be a directvent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Wood stoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

4.504.1 Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris, which may enter the system.

### **ARCHIT**

Indoor carpet Carpet pad a Outdoor carp Wood flooring Rubber floor Sub floor adh Ceramic tile VCT and asp Drywall and p Cove base a Multipurpose Structural gla Single-ply roc Other adhesiv

### SPECI/

PVC welding **CPVC** weldin ABS welding Plastic cemer Adhesive prin Contact adhe Special purpo Structural wo Top and trim

### SUBS

Metal to meta Plastic foams Porous mate Wood Fiberglass

If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed. 2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

A4.407.4 Material protection. Protect building materials delivered to the construction site from rain and other sources of moisture.

The door is protected by a roof overhang at least 4 feet in depth The door is recessed at least 4 feet.

Other methods which provide equivalent protection.

#### **TABLE 4.504.1** ADHESIVE VOC LIMIT1, 2 Less Water and Less Exempt Compounds in Grams per Liter

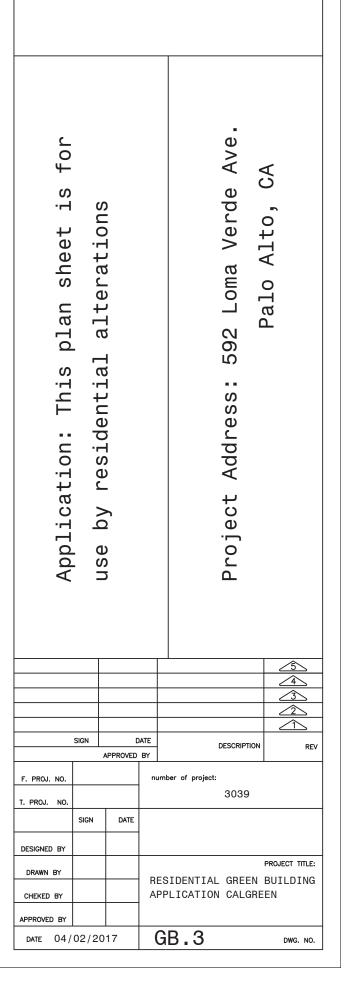
TECTURAL APPLICATIONS t adhesives adhesives bet adhesives adhesives adhesives hesives adhesives bhalt tile adhesives panel adhesives adhesives construction adhesives azing adhesives of membrane adhesives ives not specifically listed	VOC LIMIT 50 50 150 100 60 50 65 50 50 50 50 50 70 100 250 50
	00
ALTY APPLICATIONS ng ent welding mer for plastic esive ose contact adhesive ood member adhesive adhesive	510 490 325 250 550 80 250 140 250
<b>TRATE SPECIFIC APPLICATIONS</b> al s erial (except wood)	30 50 50 30 80



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#### 4.504.2.1 Adhesives, sealants and caulks.

Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:

1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.

2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.

#### 4.504.2.2 Paints and coatings.

Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Non flat or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Non flat or Non flat-high Gloss VOC limit in Table 4.504.3 shall apply.

#### 4.504.2.3 Aerosol paints and coatings.

Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.

#### **TABLE 4.504.2 SEALANT VOC LIMIT** Less Water and Less Exempt Compounds in Grams per Liter

SEALANTS VOC	LIMIT
Architectural	250
Marine deck	760
Non membrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMERS	
Architectural	
Nonporous	250
Porous	775
Modified bituminous	500
Marine deck	760
Other	750

#### 4.504.3.1 Carpet cushion.

All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program

#### 4.504.3.2 Carpet adhesive.

All carpet adhesive shall meet the requirements of Table 4.504.1.

### **TABLE 4.504.3**

#### **VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS2,** Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds

COATING CATEGORY VOC	LIMIT
Flat coatings	50
Non flat coatings	100

Nonflat-high gloss coatings

#### SPECIALTY COATING

Aluminum roof coatings Basement specialty coatings Bituminous roof coatings Bituminous roof primers Bond breakers Concrete curing compounds Concrete/masonry sealers Driveway sealers Dry fog coatings Faux finishing coatings Fire resistive coatings Floor coatings Form-release compounds Graphic arts coatings (sign pair High temperature coatings Industrial maintenance coatings Low solids coatings1 Magnesite cement coatings Mastic texture coatings Metallic pigmented coatings Multicolor coatings Pretreatment wash primers Primers, sealers, and undercoa

#### SPECIALTY APPLICAT

PVC welding CPVC welding ABS welding Plastic cement welding Adhesive primer for plastic Contact adhesive Special purpose contact adhesi Structural wood member adhes Top and trim adhesive

#### SUBSTRATE SPECIFIC

Metal to metal Plastic foams Porous material (except wood) Wood Fiberglass

If an adhesive is used to bond dissimilar substrates together, the adhesive with the highest VOC content shall be allowed. 2. For additional information regarding methods to measure the VOC content specified in this table, see South Coast Air Quality Management District Rule 1168.

#### 4.504.3.1 Carpet cushion.

All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

#### 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

A4.504.2 Resilient flooring systems. Resilient flooring systems installed in the building shall meet the percentages specified in this section and comply with the VOC-emission limits defined in at least one of the following: Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools High Performance Products Database. Products certified UL GREENGUARD Gold (formerly 2. the Greenguard Children & Schools program.) Certification under the Resilient Floor Covering Institute 3. FloorScore program. (CHPS) Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350.) Tier 1. At least 90 percent of the total area of resilient flooring installed shall comply.

# "CALGREEN NOTE"

	450	Tion 2. At least 100 nereent of the total area of resilient fleering installed	4 4 4
	150	Tier 2. At least 100 percent of the total area of resilient flooring installed shall comply.	1. A 4-i aggregate
GS		Exception for Tier 2: An allowance for up to 5-percent specialty	concrete ar
	400	purpose flooring may be permitted.	shrinkage,
	400	Note: Documentation must be provided that verifies that finish materials	American (
	50	are certified to meet the pollutant emission limits in this section.	2. Othe
	350		3. A slab de
	350		
	350	A4.504.3 Thermal insulation.	
	100	Thermal insulation installed in the building shall meet the following	4.505.3 Mc
	50	requirements:	Building ma
	150	<b>Tier 1.</b> Install thermal insulation in compliance with the California	installed. W
	350	Department of Public Health, "Standard Method for the Testing and	members e
	350	Evaluation of Volatile Organic Chemical Emissions from Indoor	Moisture co
	100	Sources Using Environmental Chambers," Version 1.1, February 2010	1. Mois
	250	(also known as Specification 01350), certified as a CHPS Low- Emitting	contact-typ
aints)	500	Material in the Collaborative for High Performance Schools (CHPS)	may be app
	420	High Performance Products Database; products certified under the UL	requiremen
gs	250	GREENGUARD Gold (formerly Greenguard Children & Schools	2. Mois
	120	program); or meet California Department of Public Health, "Standard	feet (1219
	450	Method for the Testing and Evaluation of Volatile Organic Chemical	verified.
	100	Emissions from Indoor Sources Using Environmental Chambers,"	3. At le
	500	Version 1.1, February 2010 (also known as Specification 01350).	on wall and
	250	<b>Tier 2.</b> Install insulation which complies with Tier 1 plus does not	enforcing a
1	420	contain any added formaldehyde.	and floor fra
oaters	100	Note: Documentation must be provided that verifies the materials are	Insulation p
TIONS		certified to meet the pollutant emission limits in this section.	content sha
TIONS	<b>F10</b>		floor cavitie
	510		manufactur
	490 225	4.504.5 Composite wood products.	
	325	Hardwood plywood, particleboard and medium density fiberboard	4 500 4 Da
	250 550	composite wood products used on the interior or exterior of the building	4.506.1 Ba
	550 80	shall meet the requirements for formaldehyde as specified in ARB's Air	Each bathr
	250	Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.),	the followin
esive esive	140	by or before the dates specified in those sections, as shown in Table	1. Fans
53176	250	4.504.5.	terminate c 2. Unle
	230		
	NS	4.504.5.1 Documentation.	system, far a. Hum
	30	Verification of compliance with this section shall be provided as	relative hur
	50	requested by the enforcing agency. Documentation shall include at	humidity cc
1)	50	least one of the following:	b. A hu
·/	30	1. Product certifications and specifications.	fan and is r
	80	<ol> <li>Chain of custody certifications.</li> </ol>	Notes:

Product labeled and invoiced as meeting the Composite 3.

Wood Products regulation (see CCR, Title 17, Section 93120, et seq.)

4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S, and Canadian CSA O121, CSA O151, CSA O153 and CSA O325 standards.

5. Other methods acceptable to the enforcing agency.

#### **TABLE 4.504.5** FORMALDEHYDE LIMITS1 Maximum Formaldehyde Emissions in Parts per Million

PRODUCT CURRENT	LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard2	0.13

Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.

2. Thin medium density fiberboard has a maximum thickness of 5/16 inch (8 mm).

4.505.2 Concrete slab foundations.

Concrete slab foundations required to have a vapor retarder by the California Building Code, Chapter 19 or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

#### 4.505.2.1 Capillary break.

A capillary break shall be installed in compliance with at least one of the following:

4-inch-thick (101.6 mm) base of 1/2 inch (12.7 or larger clean e shall be provided with a vapor retarder in direct contact with and a concrete mix design, which will address bleeding, , and curling, shall be used. For additional information, see Concrete Institute, ACI 302.2R-06. her equivalent methods approved by the enforcing agency. design specified by a licensed design professional.

nd floor framing with documentation acceptable to the agency provided at the time of approval to enclose the wall framina. products which are visibly wet or have a high moisture shall be replaced or allowed to dry prior to enclosure in wall or ities. Wet-applied insulation products shall follow the urers' drying recommendations prior to enclosure.

Notes:

For the purposes of this section, a bathroom is a room which 1. contains a bathtub, shower, or tub/ shower combination. 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

Heating and air-conditioning systems shall be sized, designed and have their equipment selected using the following methods: The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J-2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods Duct systems are sized according to ANSI/ACCA 1 Manual 2. D-2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. Select heating and cooling equipment according to ANSI/ACCA 3. 3 Manual S—2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

A4.504.1 Compliance with formaldehyde limits. Use composite wood products made with either California Air Resources Board approved no-added formaldehyde (NAF) resins or ultra-low emitting formaldehyde (ULEF) resins. **Note:** Documentation must be provided that verifies that finish materials are certified to meet the pollutant emission limits.

A4.506.1 Filters. Return air filters with a value greater than MERV 6 shall be installed on HVAC systems. Pressure drop across the filter shall not exceed 0.1 inches water column.



#### loisture content of building materials.

materials with visible signs of water damage shall not be Wall and floor framing shall not be enclosed when the framing exceed 19-percent moisture content.

content shall be verified in compliance with the following: isture content shall be determined with either a probe-type or ype moisture meter. Equivalent moisture verification methods approved by the enforcing agency and shall satisfy ents found in Section 101.8 of this code.

pisture readings shall be taken at a point 2 feet (610 mm to 4 9 mm) from the grade stamped end of each piece to be

least three random moisture readings shall be performed

#### Bathroom exhaust fans

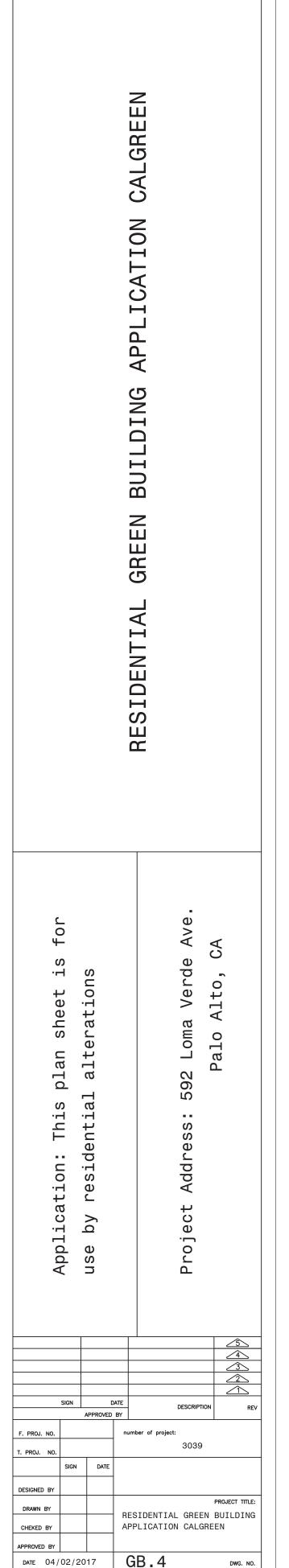
hroom shall be mechanically ventilated and shall comply with

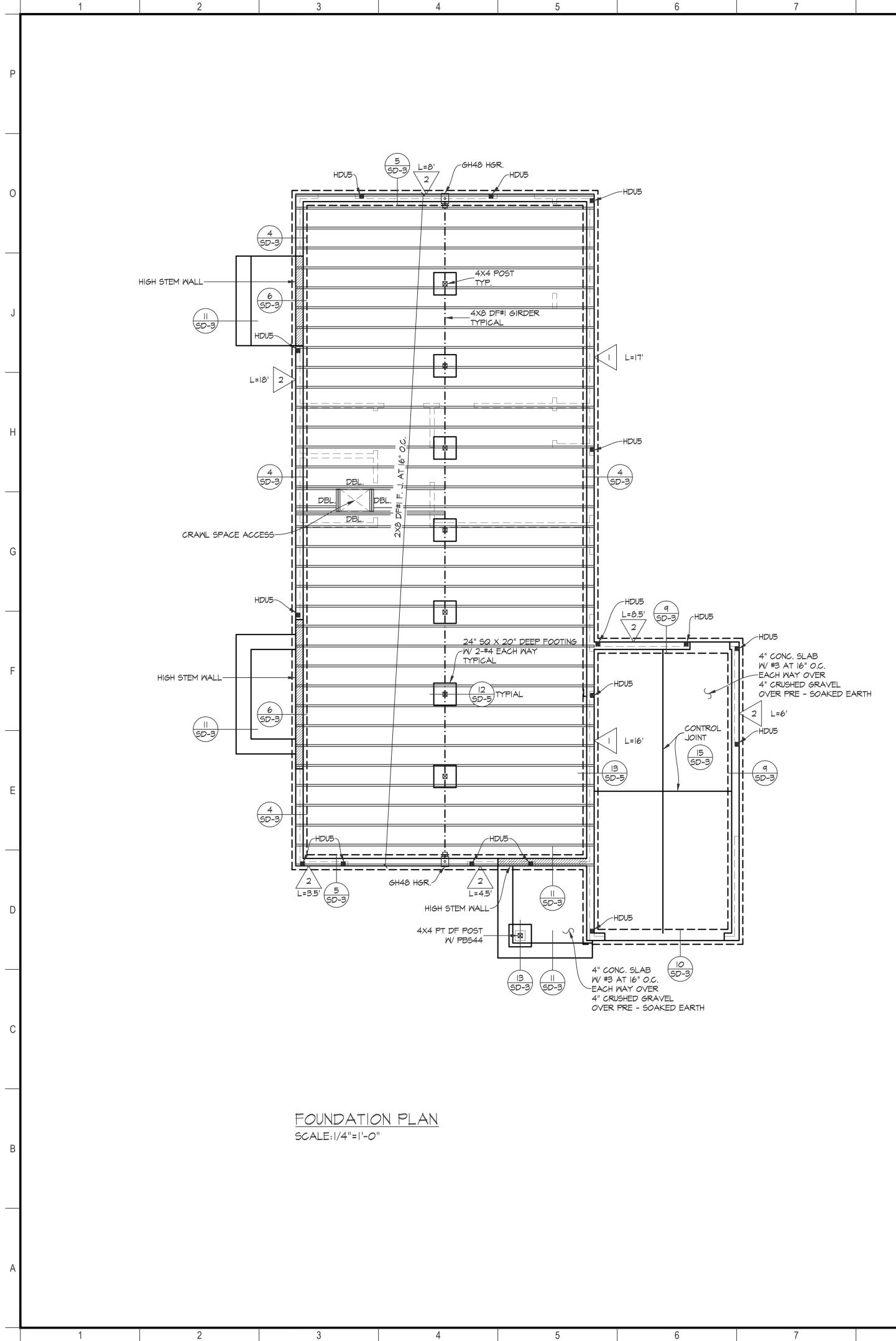
ans shall be ENERGY STAR compliant and be ducted to outside the building.

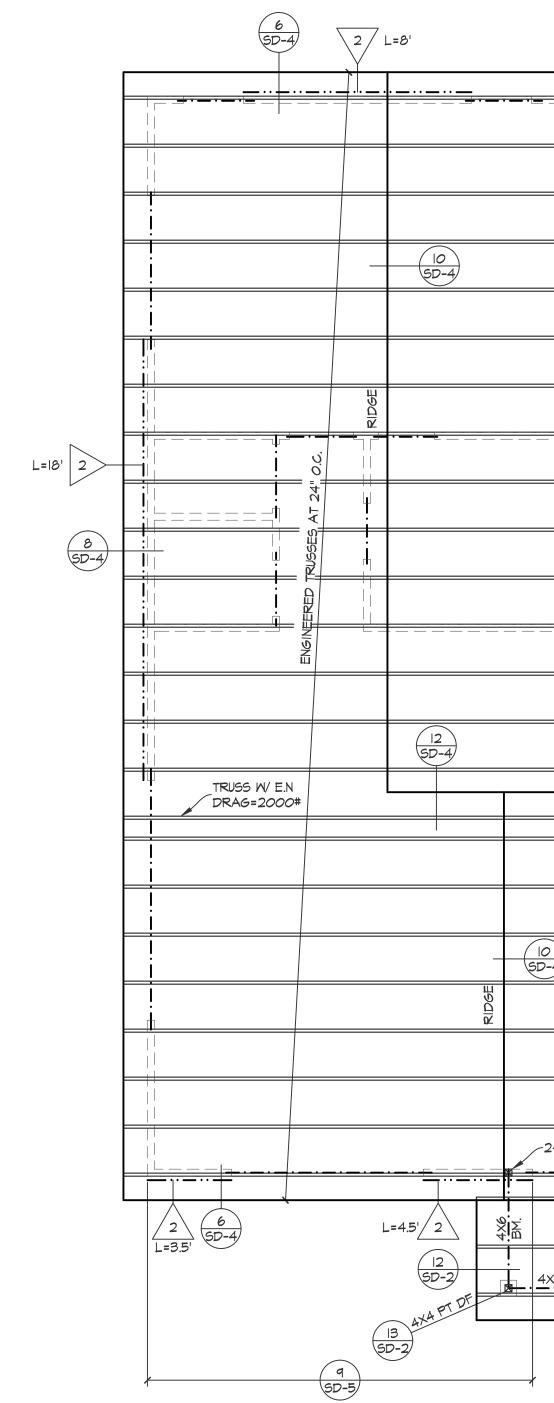
less functioning as a component of a whole house ventilation ans must be controlled by a humidity control.

midity controls shall be capable of adjustment between a numidity range of  $\leq$  50 percent to a maximum of 80 percent. A control may utilize manual or automatic means of adjustment. numidity control may be a separate component to the exhaust not required to be integral built-in).

#### 4.507.2 Heating and air-conditioning system design.







11

12

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#### ROOF FRAMING PLAN SCALE: |/4"=|'-0"

EXISTING CONDITIONS

10

8

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THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS DIMENSIONS PRIOR TO START OF JOB AND/OR ORDERING MATERIALS. DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE DES PROFESSIONAL IMMEDIATELY.

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12

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	EGLIGENCE OF DESIGN P						S-1

BOLT AT 4'-	R BOLTS NOT SHOWN ARE TO BE 5/8" DIA. X 12" A307 ANCHOR						
	$O"o.c. W/ 3" \times 3" \times 1/4"$ Washer Plate. See Plan For	STRAF	LENGTH C	LARIFICA	ATION EXAMPLE: CI	MST12/4	5"
	L ANCHOR BOLT REFERENCE AT SHEAR WALLS.			•	EE SIMPSON	_	
	DWNS SHOWN ON THIS PLAN TO BE CONNECTED FROM POST OR WALL TO FOOTING BELOW (UNO) AND TO BE INSTALLED		.06 FOR A. RED END LE		al INFO. At each end), see sin	1PSON -	
	ON CO. SPECIFICATIONS.	CATAL	.06 FOR TO	OTAL CU	T LENGTH REQUIREMEN D WITHIN THE END LEN	NTS.	
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		6	TIEDOWN	/ HOLDO	WN CONNECTION		/SD-5, 3
PROVIDE A	<u>5 NOTES</u> \ 2-2X POST BELOW ALL BEAM ENDS A LARGER POST IS					8	3/SD-5, 9
Specified.		7	ROOF FR				
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	STS, PROVIDE A POST OF IDENTICAL SIZE ( UNLESS A LARGER IS IN FLOOR AND WALL BELOW.						
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<ul> <li>BLOCKING I</li> <li>ALL EXTERICONCRETE</li> <li>DRAWINGS</li> <li>PROVIDE SCAND BEAMS</li> <li>EDGE NAIL</li> <li>SEE DETAIL</li> <li>DO NOT OV</li> <li>BE ADJUSTE</li> <li>SO THAT THE</li> <li>AT NAILED CONSTRUCTION</li> <li>ALL SPECIFIED CONSTRUCT</li> <li>MALL WIND</li> <li>FOR REFER</li> <li>AND EXACT</li> <li>ALL HATCH</li> <li>CALIFORNIA</li> </ul>	IN LINE WITH OR OVER EXTERIOR WALLS OR SHEAR WALLS. IOR PORCH POST'S ARE TO BE SUPPORTED ON A RAISED CURB. SEE FOUNDATION DRAWINGS AND ARCHITECTURAL (BY OTHERS) FOR MORE INFORMATION. OLID 2X BLOCKING BETWEEN RAFTERS OVER ALL BEARING WALLS 5. ATTACH TO BEAM OR WALL BELOW W/ 3-I6d PER BLOCK, U.N.O. PLYWOOD TO BE BLOCKING. . SHEETS FOR ADDITIONAL NOTES AND DETAILS. TERDRIVE NAILS INTO PLYWOOD. IF NAIL GUN IS USED. GUN SHOULD ED TO UNDERDRIVE NAIL. THEN NAILS ARE TO BE HAND DRIVEN HE HEAD OF THE NAIL IS FLUGH WITH THE FACE OF THE PLYWOOD. CONNECTIONS. CARE IS TO BE TAKEN DURING CONSTRUCTION TO AT SPLITTING OF PLYWOOD DOES NOT OCCUR. ANY SPLIT MEMBER REMOVED AND REPLACE, USING A METHOD OF ATTACHING THE CONNECTORS IN A WAY TO PREVENT SPLITTING. FIED BLOCKING. IS TO BE INSTALLED "TIGHT" BETWEEN ADJACENT POWS, DOOR AND OPENING LOCATIONS SHOWN ON THIS PLAN ARE PENCE ONLY. SEE ARCHITECTURAL PLANS FOR ALL DIMENSIONS T LOCATIONS. HED AREAS SHOWN ON FRAMING PLANS BELOW INDICATE A FRAMING W/ 2 X 6 @ 24' O.C. SUPPORT RIDGE, HIP AND VALLEYS HIP AND VALLEYS W/ KICKER AT 48" O.C. TO RAFTER BELOW	TC 3. IF AI PC USE FOI SE 2x 3 5 I. OR 7	LL DBL. 2x DBE NAILED 2x SHIMS NCHOR AND DST WITH A TE: 2x6 STUD 2 2x6 STUD 2 2x7 STUD 2 2x7 STUD 2 2x7 STUD 2 2x7 STUD 2 2x6 STUD 2 2x7 STUD 2	A POSTE D TOGET OR 'PAD D THE PC MINIMUM S AT ALI S AT AL	THER WITH 16d AT 4"0. D-OUT' STUDS ARE USE DST SPECIFIED, ATTAC 1 OF 16d AT 4"0.c., ST, L PLUMBING WALLS SE DRAWINGS FOR CRAM HANGER SCHEDULE JOISTS & BEAMS, U.I TOP FLANGE HANGE - WPUI.81/11.88 HWU3.56/ 11.88 HWU5.50/ 11.88	C., STAG D BETM H SHIME AGGERE AGGERE E ARCI E N.O.	GERED.
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<u>NOTE:</u>

DRAWINGS.

- ALL 'PA' OR STRAP TYPE ANCHORS TO BE INSTALLED OVER PLYND. SHEAR MATERIAL
- . ALL DBL. 2x4 POSTS AT HOLDOWN, 'HT', 'PA' OR STRAP LOCATIONS
- TO BE NAILED TOGETHER WITH 16d AT 4"0.C., STAGGERED 3. IF 2x SHIMS OR 'PAD-OUT' STUDS ARE USED BETWEEN THE HOLDOWN
- ANCHOR AND THE POST SPECIFIED, ATTACH SHIMS TO THE SPECIFIED POST WITH A MINIMUM OF 16d AT 4"o.c., STAGGERED.

NEW FOOTING SHALL MATCH EXISTING PRIOR TO THE CONSTRUCTION OF THE NEW FOUNDATION, VERIFICATION IS REQUIRED TO SHOW THAT THE NEW FOUNDATION SYSTEM MATCHES THE EXISTING (E) FOOTINGS. EXCAVATE AS REQUIRED FOR THE FIELD INSPECTOR TO VERIFY THE TYPE OF EXISTING FOUNDATION SYSTEM. PIER AND GRADE BEAM FOUNDATION SYSTEM SHALL BE AS PER THE LATEST CALIFORNIA BUILDING CODE AND SHALL BE DESIGNED BY A CIVIL, OR STRUCTURAL ENGINEER AND APPROVED BY THE \_\_\_\_\_\_ BUILDING DIVISION PRIOR TO COMMENCING OF CONSTRUCTION. PIER DEPTH SHALL BE MINIMUM AS EXISTING.

SHOP	DRAWINGS:

SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. ANY REVIEW OF SHOP DRAWINGS BY THIS OFFICE IS ONLY FOR GENERAL CONFORMANCE TO THE STRUCTURAL REQUIREMENTS AND IN NO WAY GUARANTEES THE ACCURACY OR COMPLETENESS OF INFORMATION THEREON. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE ALL CONSTRUCTION IS IN FULL COMPLIANCE WITH THE LATEST SET OF STRUCTURAL DRAWINGS.

#### <u>LUMBER</u>

I. PLATES, STUDS, JOISTS AND BEAMS. (UNO)

MEMBERS	<u>GRADE OF WOOD (U.N.O.)</u>

A. 2x OR 3x MUDSILLS	P.T.D.F.
B. 2x OR 4x	D.F. NO. 2
C. 6x AND LARGER	D.F. NO.
D. ALL STUDS	D.F. NO.2
E. BLKG. & SOLE PLATES	D.F. CONSTR. GRADE
F. GLU LAM BEAMS	24F-V4, 24F-V8 AT CANTILEVER
G. TOP PLATES	D.F. CONSTR. GRADE

NOTE: ALL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF INSTALLATION.

#### 2. PLYWOOD

LOCATIO	n gra	DING N	AILING (U.N.O.)
ROOF	- 1/2" CDX	APA (32/16)	8d @ 6" EDGE, I2" FIELD
Floor	- 3/4" T\$G CDX	APA (32/16)	IOd @ 6" EDGE, IO" FIELD
<u>NOTE:</u> ALL LEGIE		LYWOOD SHEATH	HING AND LUMBER SHALL BE

#### <u>Mood Frame</u>

- ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE
- TREATED FIR. 2. ALL METAL CONNECTORS SHALL BE SIMPSON STRONG-TIE CONNECTORS. THE NAILS FOR THESE CONNECTORS SHALL BE JOIST HANGER NAILS AS MANUFACTURED BY THE SIMPSON CO.
- 3. PROVIDE FIRE STOPS AT ALL INTERSECTIONS OF STUD WALLS AT FLOOR, CEILING AND ROOF. FIRE STOPS SHALL BE 2x NOMINAL THICKNESS OF WOOD AND SHALL BE THE FULL WITH OF THE ENCLOSED SPACE. PLACE FIRE STOPS AT A MAXIMUM SPACING OF 10'-0" IN EACH DIRECTION AND AT THE SAME LINES AS FIRE STOPS IN ADJACENT STUD WALLS.
- 4. TOP PLATES OF ALL STUD WALLS SHALL BE 2 PIECES THE SAME STUD SIZES. SPLICES TO LAP 4'-O" MINIMUM AND BE NAILED PER THE DETAILS.
- 5. BOLT HOLES IN WOOD SHALL BE 1/32" TO 1/16" LARGER THAN THE NORMAL BOLT DIAMETER. ALL BOLTS SHALL HAVE STANDARD OUT WASHER UNDER HEAD AND NUT UNLESS NOTED OTHERWISE.
- 6. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO THE APPLICATION OF SHEATHING PLASTER, ETC.
- 7. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY DETAILED
- 8. PROVIDE 2x SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL SUPPORTS BLOCKING SHALL BE ONE PIECE AND THE FULL DEPTH OF THE JOIST RAFTER.
- 9. CROSS BRIDGING OR SOLID BLOCKING SHALL BE PROVIDED AT 8'-O" O.C. MAXIMUM FOR ALL FLOOR JOISTS MORE THAN 12" DEEP AND AT 10'-0" O.C. MAXIMUM FOR ALL RAFTERS MORE THAN 8" DEEP.
- IO. PROVIDE DOUBLE JOISTS UNDER PARTITIONS WHICH ARE PARALLEL TO THE FLOOR JOISTS.

Plymood Edge Nailing

POUNDS PER SQ. INCH

POUNDS PER SQ. FOOT

PRESSURE TREATED

PRESSURE TREATED

TOP OF BEAM., ETC.

TONGUE & GROOVE

UNIFORM BUILDING

UNLESS OTHERWISE

MELDED WIRE FABRIC

POUNDS PER LINEAL FOOT

PARALLAM STRAND LUMBER

DEFORMED REINFORCING BAR

SHEAR WALL SCHEDULE

SEE ARCHITECTURAL DRAWINGS

ABBREV	IATIONS		
A.B.	ANCHOR BOLT		MST ABOVE
ABV.	ABOVE		MACHINE BOLT
BD	BOARD	MFR.	MANUFACTURER
BM.	BEAM	MAX.	MAXIMUM
BLW.		MIN.	MINIMUM
BLK.		MTL.	METAL New
BLK'G	BLOCK OR BLOCKING	(N) NTG	NOT TO SCALE
B.N.	BOUNDRY NAILING	N.T.S	ON CENTER
C.B.C.	CALIFORNIA BUILDING CODE	0.F.	OUTSIDE FACE
CLG.	CEILING		OPPOSITE HAND
C.B.	CEILING BEAM	P.A.	POST ABOVE
00	CENTER TO CENTER,		PLATE
	ON CENTER	PLY.	Plywood
	COLUMN CONCRETE		Plywood
	CONTINUOUS	P.E.N.	PLYWOOD EDGE N
	DEAD LOAD	PLF	POUNDS PER LINE
	DIAMETER	P.S.I.	POUNDS PER SQ.
₽.F.	DOUGLAS FIR	P.S.F.	POUNDS PER SQ. 1
D.5.	DOUBLE STUD	PSL	PARALLAM STRAM
D.S. EA.	EACH	P.T.	PRESSURE TREAT
	Each way	P.T.D.F	PRESSURE TREAT
	EXISTING		DOUGLAS FIR
E.N.	EDGE NAILING	DETD	RAFTER
EXT.	EXTERIOR		
F.O.S.			DEFORMED REINF
F.O.C. F.N.	FACE OF CONCRETE FIELD NAILING	S.A.D. S.N.S	
FIN.	FINISH	S.N.S SHTG.	
FHMS	FLAT HEAD WOOD SCREW	SHT.	SHEET
FLR.	FLOOR	SPECS.	
F.C.B.	FLUSH CEILING BEAM	STD.	STANDARD
FTG.	FOOTING	STL.	STEEL
GYP.	GYPSUM	SQ.	SQUARE
GLB	GLUED, PRESSURE	THD.	
H.F.	LAMINATED BEAM Hem fir		TOP OF BEAM., ET
HGR.	HANGER	ΤŧG	
HDR.	HEADER	T ∉ B	TOP & BOTTOM
H.D.	HOLDOWN	TL	TOTAL LOAD
HORIZ.	HORIZONTAL	TYP.	TYPICAL UNIFORM BUILDING
H.D.G.	HOT DIPPED GALVANIZED	U.B.C.	CODE
ICBO	INTERNATIONAL CONF.		UNLESS NOTED
	OF BLDG. OFFICIALS	U.N.O.	OTHERWISE
INT.	INTERIOR	U.O.N.	UNLESS OTHERWIS
JST.	JOIST	0.0.IX.	NOTED
	LAMINATED VENEER LUMBER	VERT.	VERTICAL
L.S. LL	lag screw Live load	W/	WITH
K.B.	KICK BRACE	M.M.F.	WELDED WIRE FAI
K.P.	KING POST OR KICKER POST		

#### FOUNDATIONS

I. ALL EXISTING FILL SOIL AND DISTURBED NATURAL SOILS ARE TO BE EXCAVATED AND REPLACED WITH PROPERLY COMPACTED FILL. ALL FILLING, BACKFILLING, RECOMPACTION, ETC. IS TO BE ACCOMPLISHED ONLY UNDER THE SUPERVISION OF A SOILS ENGINEER. COMPACTED FILL SHALL BE 95% DENSITY.

- 2. FOOTINGS ARE TO BE CARRIED A MINIMUM OF 18" INTO FIRM UNDISTURBED NATURAL SOIL OR APPROVED COMPACTED FILL.
- 3. DESIGN BEARING PRESSURE IS 1500 PSF WITH A 33% INCREASE FOR SEISMIC OR WIND LOADING.

4. RELATIVELY NON-EXPANSIVE FILL SHOULD BE USED IN BACKFILLING BEHIND WALLS ALL WALLS SHALL BE ADEQUATELY SHORED DURING THE BACKFILL OPERATION.

#### CONCRETE:

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- 2. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33 ( MAXIMUM AGGREGATE SIZE SHALL BE 3/4" )
- 3. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE IV. ( SULFIDE RESISTANT ).
- 4. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE POURED AGAINST FORMS 2"

POURED AGAINST EARTH 3"

- 5. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. PIPES OF DUCTS EXCEEDING ONE-THIRD THE SLAB OR FOOTING THICKNESS SHALL BE PLACE IN THE STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAINED.
- 6. DOWELS, ANCHOR BOLTS AND OTHER EMBEDDED ITEMS ARE TO BE SECURED IN PLACE BEFORE CONCRETE IS POURED.
- REFER TO ARCHITECTURAL DRAWINGS FOR REVEALS, AREAS OF TEXTURED CONCRETE OR SPECIAL FINISHES, ITEMS REQUIRED TO BE CAST INTO
- CONCRETE, CURBS AND SLAB DEPRESSIONS. 8. MINIMUM CEMENT CONTENT SHALL BE 5 SACKS PER CUBIC YARD FOR 2500 PSI CONCRETE.
- 9. MAXIMUM SLUMP SHALL BE 4".
- IO. OPTIONAL COLD JOINTS MAY BE USED WHERE SHOWN, COLD JOINT EDGES SHALL BE CLEAN, FREE OF EXTRANEOUS AND INTENTIONALLY ROUGHENED. REINFORCING STEEL:
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 FOR SIZES #4 AND SMALLER AND <u>GRADE 60</u> FOR SIZES #5 AND LARGER.
- 2. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWA DI2-I USING PROPER LOW HYDROGEN ELECTRODES. ALL BARS TO BE WELDED SHALL CONFORM TO ASTM ATO6.
- 3. WELDED FABRIC (MESH, WWF) SHALL CONFORM TO THE LATEST REVISED ASTM A185. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A85, YIELD STRENGTH 60 KSI.
- 4. ALL BARS IN CONCRETE SHALL BE LAPPED A MINIMUM OF 48 BARS DIAMETERS ( 2'-O" MIN. ) AT ALL SPLICES UNLESS NOTED OTHERWISE.
- 5. SPLICES OF HORIZONTAL REBAR IN FOOTING SHALL BE STAGGERED 4'-O" MINIMUM
- 6. ALL BENDING OF REINFORCING STEEL SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.
- 7. REINFORCING SHALL BE PLACED AND SUPPORTED IN A TRUE LINE AS SHOWN
- <u>FLOOR I-JOIST</u>
- FLOOR JOISTS ARE TO BE DESIGNED FOR L/480 (DL & LL) MAXIMUM DEFLECTION CRITERIA

#### MICROLAM BEAMS:

MICRO LAM (ML OR LVL) BEAMS ARE TO BE THE S
AND TO BE MANUFACTURED BY TRUSS JOIST CORF
HAVE THE FOLLOWING ALLOWABLE DESIGN STRESS
E = 1,900,000 PSI
Fb = 2,600 PSI
Fy = 285 PSI

#### PARALLAM BEAMS:

PARALLAM (PSL) BEAMS ARE TO BE THE SIZE SHOWN ON PLANS, AND TO BE MANUFACTURED BY TRUSS JOIST CORP. PARALLAM BEAMS SHALL HAVE THE FOLLOWING ALLOWABLE DESIGN STRESSES. E = 2,000,000 PSI

#### Fb = 2,900 PSI Fy = 290 PSI

#### TIMBERSTRAND:

TIMBERSTRAND (TS) MEMBERS ARE TO BE THE SIZE SHOWN ON PLANS AND TO BE MANUFACTURED BY TRUSS JOIST CORP.

#### <u>GLB NOTES:</u>

- ALL FABRICATION AND WORKMANSHIP SHALL CONFORM TO THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED DOUGLAS FIR (COAST REGION) LUMBER BY THE WEST COAST LUMBER MAN'S ASSOCIATION AND THE CURRENT EDITION OF TIMBER CONSTRUCTION.
- 2. ALL GLUED LAMINATED MEMBERS SHALL BE DOUGLAS FIR, COMBINATION 24F-V4 (U.N.O.) OR 24F-V8 WITH WATERPROOF RESORCINOL OR PHENOL RESORCINOL GLUE CONFORMING TO THE FEDERAL SPECIFICATIONS MIL-A-397. (USE 24F-V8 AT CANTILEVER CONDITION).
- 3. FINISH OF THE MEMBERS SHALL BE INDUSTRIAL APPEARANCE GRADE IN CONFORMANCE WITH THE STANDARD APPEARANCE GRADES OF THE A.I.T.C.
- 4. A CERTIFICATE OF INSPECTION FOR EACH GLU-LAM BEAM FROM AN APPROVED TESTING AGENCY SHALL BE SUBMITTED TO AND APPROVED BY THE LOCAL BUILDING DEPT. AND BY THE ENGINEER PRIOR TO ERECTION.

#### EPOXY AND ANCHORS: (ICC-ES ESR 2508)

- EPOXY GROUT USED FOR THE SETTING OR DEFORMED REINFORCING BARS SHALL BE SIMPSON 'SET-XP' EPOXY SURFACE OF EXISTING CONCRETE SHALL BE FREE FROM DUST OR DEBRIS PRIOR TO INJECTION EPOXY PRODUCT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 2. EPOXY USED FOR THE SETTING OF ALL-THREAD ROD BOLTS SHALL BE SIMPSON 'SET-XP' EPOXY. EPOXY SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDATIONS AND PROVIDE SPECIAL INSPECTION BY CERTIFIED TESTING AGENCY.

PROJECT DATA:

LOADING						
	FLOOR					
DEAD LOAD	16 psf					
LIVE LOAD	40 psf					
SEISMIC COEFFICIENT						
S <sub>1</sub> = 0.655	$T_{L} = 12$					
$S_{D1} = 0.655$	$C_{t} = 0.02$					
S <sub>25</sub> = 1.000						
GEISMIC DESIGN CATEGORY:	D					
WIND LOAD COEFFICIENT						
WIND SPEED 110 MPH	WIND EXPOSURE: B					
K₄ = 0.85	K <sub>z</sub> = 0.70					
	$ $ $K_{zt} =  $					

D.C.

ATIONS HOLDOWN

SPECIFIED

```
RAL DRAWINGS
```

E MOUNT HANGER
'LUS'
HUII (MAX.)
HGUS412
HGUS5.50/12
HGUST.25/12

#### HEARWALLS

	5
HANGERS	
SIMPSON TYPE	
U24	
U26	
U28	
U210	
U210	
	ī.
HANGERS	
SIMPSON TYPE	
U24	
U26	
020	
U28	

U210

8. ALL REINFORCING SHALL BE CLEAN AND FREE OF EXTRANEOUS MATERIAL.

SIZE SHOWN ON THE PLANS P. MICRO LAM BEAMS SHALL SES

<b>ROOF</b> 16 psf 20 psf	
F, = 1.0 F, = 1.5	
60 <sub>e</sub> = 0.18	

#### GENERAL NOTES:

- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE 2016 BUILDING CODE.
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- 3. ANY DEVIATIONS FROM THE PLANS. WHICH ARE NECESSITATED BY FIELD CONDITIONS OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLAN, SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.
- 4. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS SECTIONS AND DETAILS.
- 5. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 6. MATERIAL NOTES AND SPECIFICATIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THE PROJECT SPECIFICATIONS.
- 7. VERIFY ALL OPENINGS THROUGH CONSTRUCTION WITH HEATING AND VENTILATING CONTRACTOR PLUMBING CONTRACTOR AND ELECTRICAL CONTRACTOR FOR SIZE AND LOCATION, PRIOR TO COMMENCING CONSTRUCTION.
- 8. SEE ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS, LOCATION OF ALL NON-BEARING PARTITIONS, CONCRETE CURBS, FLOOR AND ROOF SLOPES, DRAINS, ELEVATIONS, LOCATIONS OF ALL STAIRWAYS, (IF ANY), MISCELLANEOUS HANDRAILS, LADDERS. HANGERS, STEEL GRATING, LOCATION OF ALL CONCRETE INSERTS, CLIPS, GROOVES, GROUNDS AND VENEER ANCHORS, LOCATION AND DETAIL OF MISCELLANEOUS YARDWORK INCLUDING WALKS, CURBS, DRIVEWAYS, TUNNELS AND FINISHED GRADING PLANS.
- 9. NO OPENINGS, POCKETS, ETC. SHALL BE PLACED IN SLABS DECKS, BEAMS, JOISTS, WALLS, COLUMNS, ETC. UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS, NOTIFY THE STRUCTURAL ENGINEER WHEN (MECH., ELECT.) DRAWINGS SHOW OPENINGS, POCKETS, ETC., THAT ARE NOT LIKEWISE SHOWN ON THE STRUCTURAL DRAWINGS.
- IO. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED FINISH MATERIAL AND/OR STRUCTURAL MEMBERS AS REQUIRED AND AS CONFIRMED BY THE BUILDING INSPECTOR AND STRUCTURAL ENGINEER.
- II. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING DURING CONSTRUCTION.
- 12. FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED SIMILAR TO TYPICAL DETAILS FOR THE RESPECTIVE MATERIAL.
- 13. THE CONTRACTOR AND/OR SUB-CONTRACTORS WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL STATE, OR LOCAL BUILDING CODES.
- 14. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY, EQUIVALENT SUBSTITUTIONS WILL BE PERMITTED.
- 15. TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS GIVEN.

#### GENERAL CONSTRUCTION

- RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER RIDGES, VALLEYS AND HIPS. ALL RIDGE BOARDS, MAIN VALLEY AND HIP RAFTERS SHALL BE AT LEAST 2 IN. THICK (NOMINAL). IN NO CASE SHALL THE DEPTH BE LESS THAN THE CUT OF THE END OF THE RAFTER (U.N.O.)
- 2. WHERE APPLICABLE, RAFTERS SHALL BE NAILED TO ADJACENT PARALLEL CEILING JOIST TO FORM A CONTINUOUS THE BETWEEN EXTERIOR WALLS, (U.N.O.) WHERE CEILING JOISTS ARE NOT PARALLEL, RAFTERS, SHALL BE TIED BY A I X 4 (MIN.) CROSS TIE. THE CROSS TIES SHALL BE SPACED NOT MORE THAN 4'-O" O.C.
- 3. UNLESS SUPPORTED LATERALLY BY ADEQUATE FRAMING, THE MAXIMUM ALLOWABLE HEIGHT SHALL BE 14'-O" FOR 2 X 4 AND 3 X 4 STUD WALLS AND 20'-0" FOR A 2 X 6 STUD WALL (U.N.O.).
- 4. JOISTS SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING OR END HANGERS AT EACH END AND AT EACH SUPPORT. SOLID BLOCKING SHALL NOT BE LESS THAN 2" THICK (NOMINAL) AND THE FULL DEPTH OF THE JOISTS.
- 5. THE ENDS OF JOISTS, BEAMS, AND GIRDERS SHALL HAVE AT LEAST | 1/2" OF BEARING ON WOOD OR METAL AND 3" OF BEARING ON CONCRETE OF MASONRY, (U.N.O.).
- 6. WHEN BOLTS ARE IN USE A WASHER NOT LESS THAN A STANDARD CUT WASHER OR A METAL PLATE OR STRAP IN LIEU THEREOF, SHALL BE BETWEEN THE WOOD AND THE BOLT HEAD AND BETWEEN THE WOOD AND THE NUT
- 7. MACHINE BOLTS AND ANCHOR BOLTS SHALL CONFORM TO ASTM A307 (U.N.O.)
- 8. ALL BUILDINGS SHALL BE GRADED SO AS TO PROVIDE 5% POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- 9. WOOD JOISTS AND FLOORS CLOSER THAN 18" OR WOOD GIRDERS AND SUPPORTS CLOSER THAN 12" TO THE GROUND SHALL BE PRESSURE TREATED
- IO. CONTRACTOR SHALL SUBMIT A CERTIFICATION OF CONFORMANCE FOR ALL GLUED-LAMINATED BEAMS TO BUILDING INSPECTION DEPT., PRIOR TO ERECTION.
- II. PURLINS SHALL BE 2 X 6 OR THE SAME SIZE AS RAFTERS, WHICHEVER IS GREATER, (U.N.O.).
- 12. PROVIDE FIRE BLOCKING AT FLOORS, CEILING, COVES AND MID-HEIGHT OF WALLS OVER IO'-O" IN HEIGHT.

<u>NAILING</u>

<u>NAILING (U.N.O.) ON PLANS</u> <u>CONNECTION</u> JOIST TO SILL OR GIRDER TOENAIL 3-80 BRIDGING TO JOIST, TOENAIL EACH END. 2-8d 3. I" X 6" SUBFLR. OR LESS TO EA. JOISTS, FACE NAIL 2-8d 4. WINDER THAN I" X 6" SUBFLR. TO EA. JST. FACE NAIL 3-8d 5. 2" SUBFLR. TO JOIST OF GIRDER BLIND AND FACE NAIL 2-16d 6. SOLE PLATE TO JOIST OR BLD'G ..., FACE NAIL. 16d @ 16" O.C. TOP PLATE TO STUD, END NAIL 2-16d 8. STUD TO SOLE PLATE 4-8d TOENAIL ( 2-16d, END NAIL 9. DOUBLE STUDS, FACE NAIL 16d @ 24" O.C. IO. DOUBLE TOP PLATES, FACE NAIL 16D @ 16" O.C. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL 4-16d 12. CEILING JOIST TO PLATE, TOENAIL 3-8d 13. CONTINUOUS HEADER TO STUD, TOENAIL 4-8d 14. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL. 3-16d 15. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL 3-16d 16. RAFTER TO TRUSSES TO PLATE, TOENAIL 3-16d 17. I" X 8" SHEATHING OR LESS TO EA. BEARING., FACE NAIL. 2-8D 18. WIDER THAN I" X &" SHEATHING TO EA. BEARING, FACE NAIL 3-8d 19. BUILT-UP CORNER STUDS. 16d @ 24" O.C. CORROSION PROTECTION NOTE: CORROSION PROTECTION FOR NAILS AND OTHER HARDWARE ATTACHED TO PRESSURE TREATED LUMBER. OF PARTICULAR CONCERN IS THE SHEAR WALL

EDGE NAILING INTO A PRESSURE-TREATED SILL PLATE. (NOTE: AS OF JAN.

ARE MORE CORROSIVE THAN THE TRADITIONAL CCA-C PROCESS.) USE

, 2004, MOST PRESSURE TREATED LUMBER WILL UTILIZE NEW CHEMICALS THAT

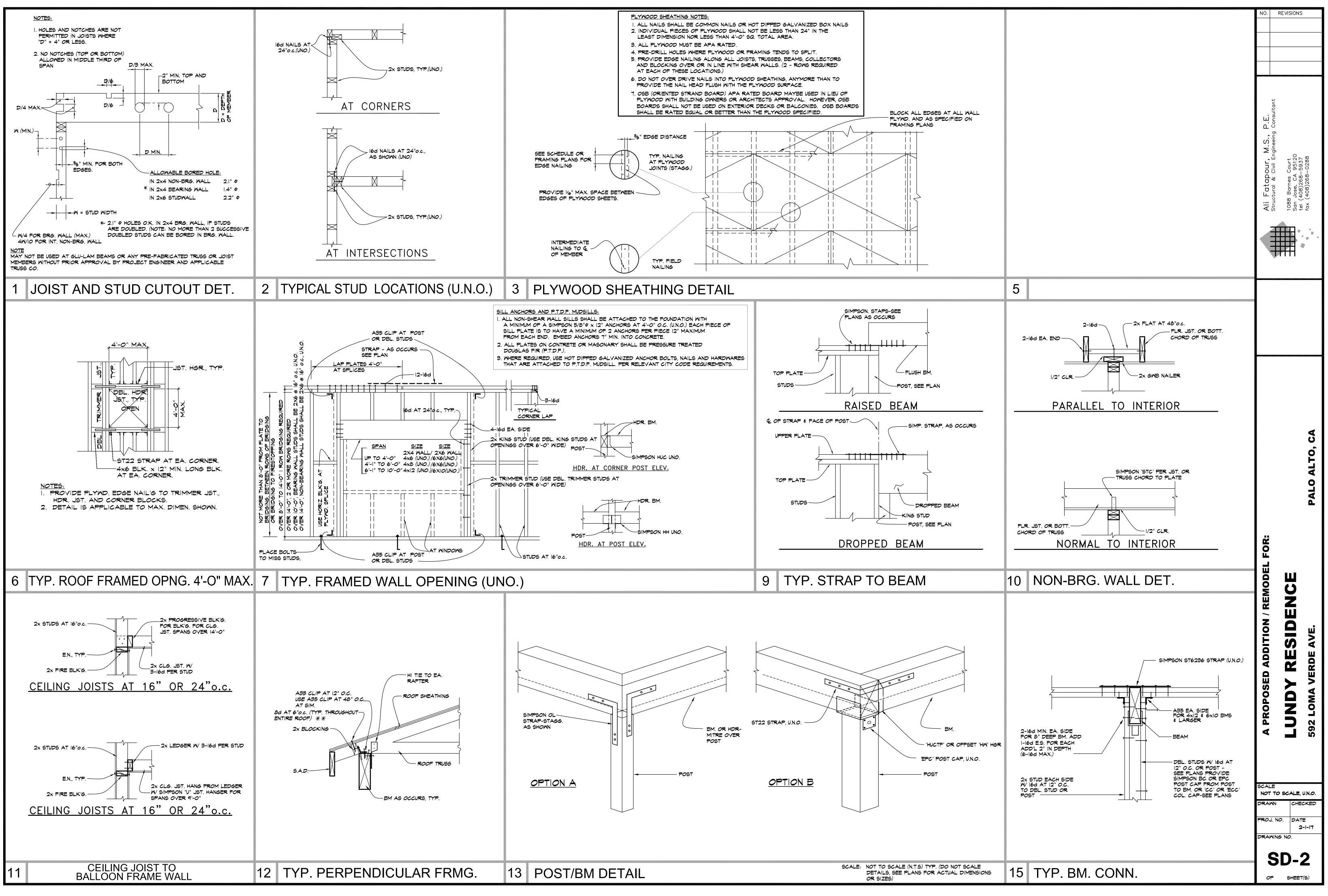
GALVANIZED PRODUCTS, NOTE THAT THEY ARE TO BE HOT DIPPED GALVANIZED

	REV	ISIONS	
┢			
Ali Fatabolir M S D F			fax (408)268-0288
			PALO ALTO, CA
A PROPOSED ADDITION / REMODEL FOR-		LUNDY RESIDENCE	
R SCA	LE T TO Se		592 LOMA VERDE AVE. PAL

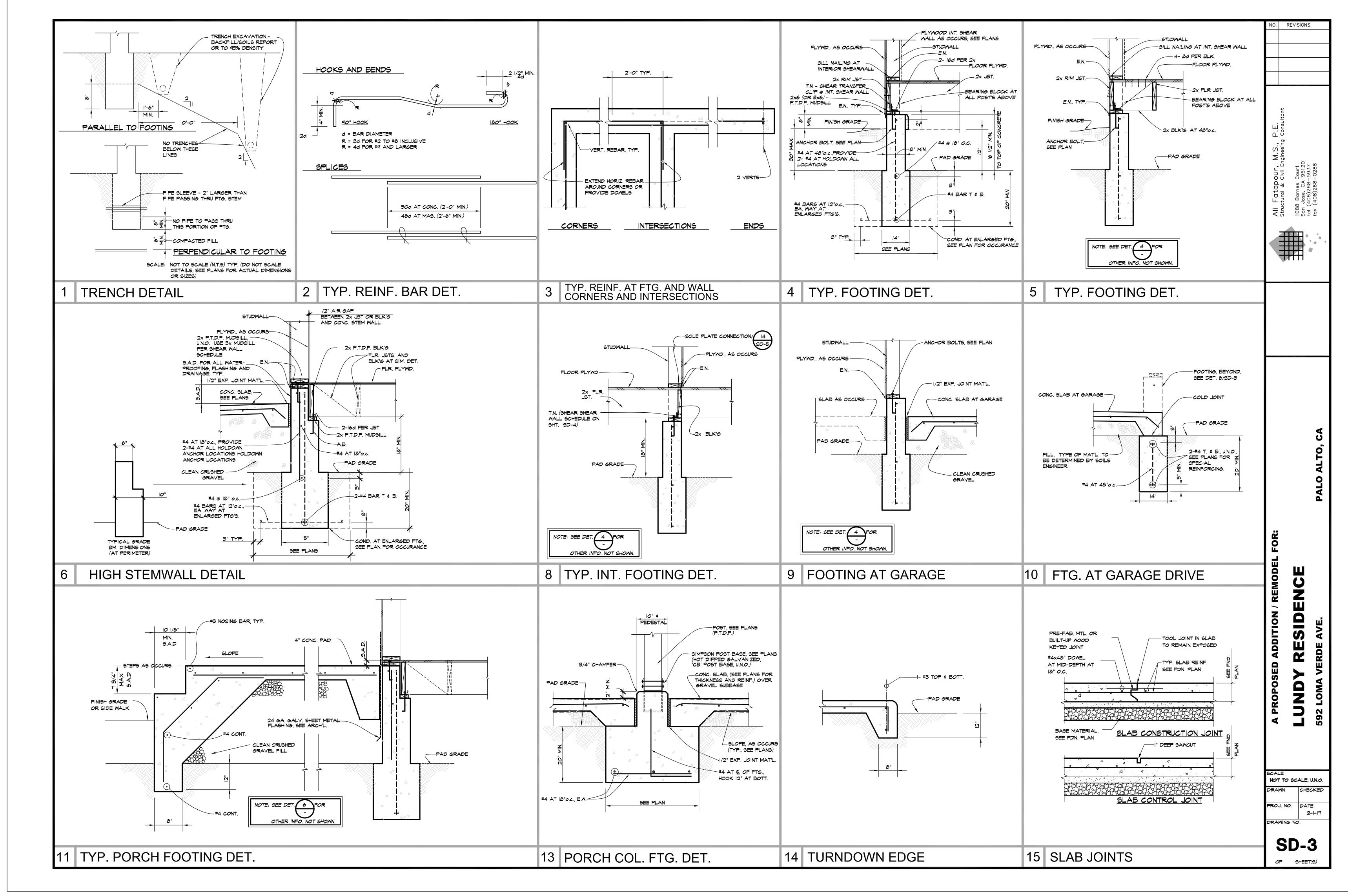
	<b>5</b> 92
ale Pt to sc.	ALE, U.N.C
AMN	CHECKEI
J. NO.	DATE 2-1-17
aming nc	).

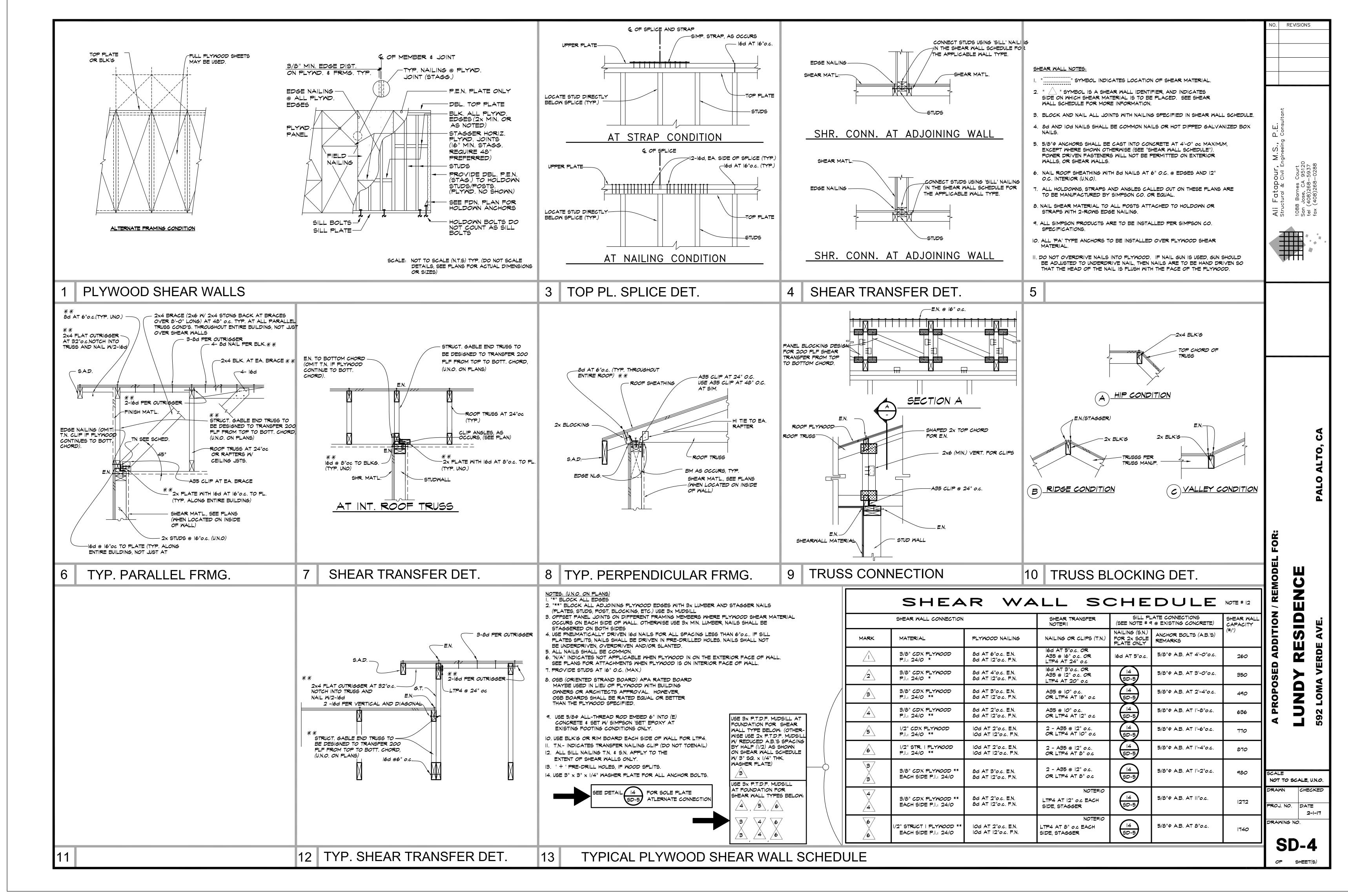
SD-

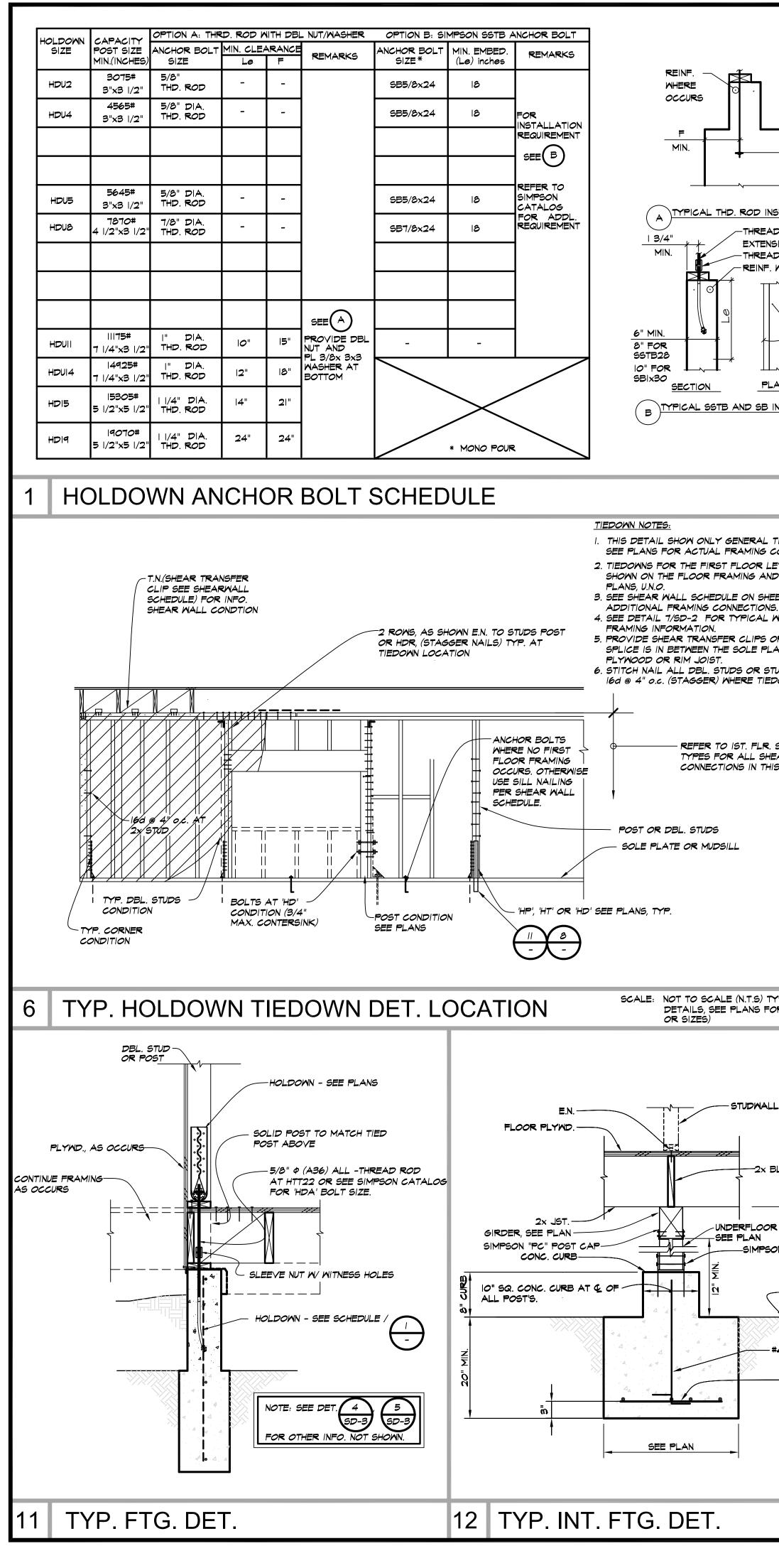
OF SHEET(S)



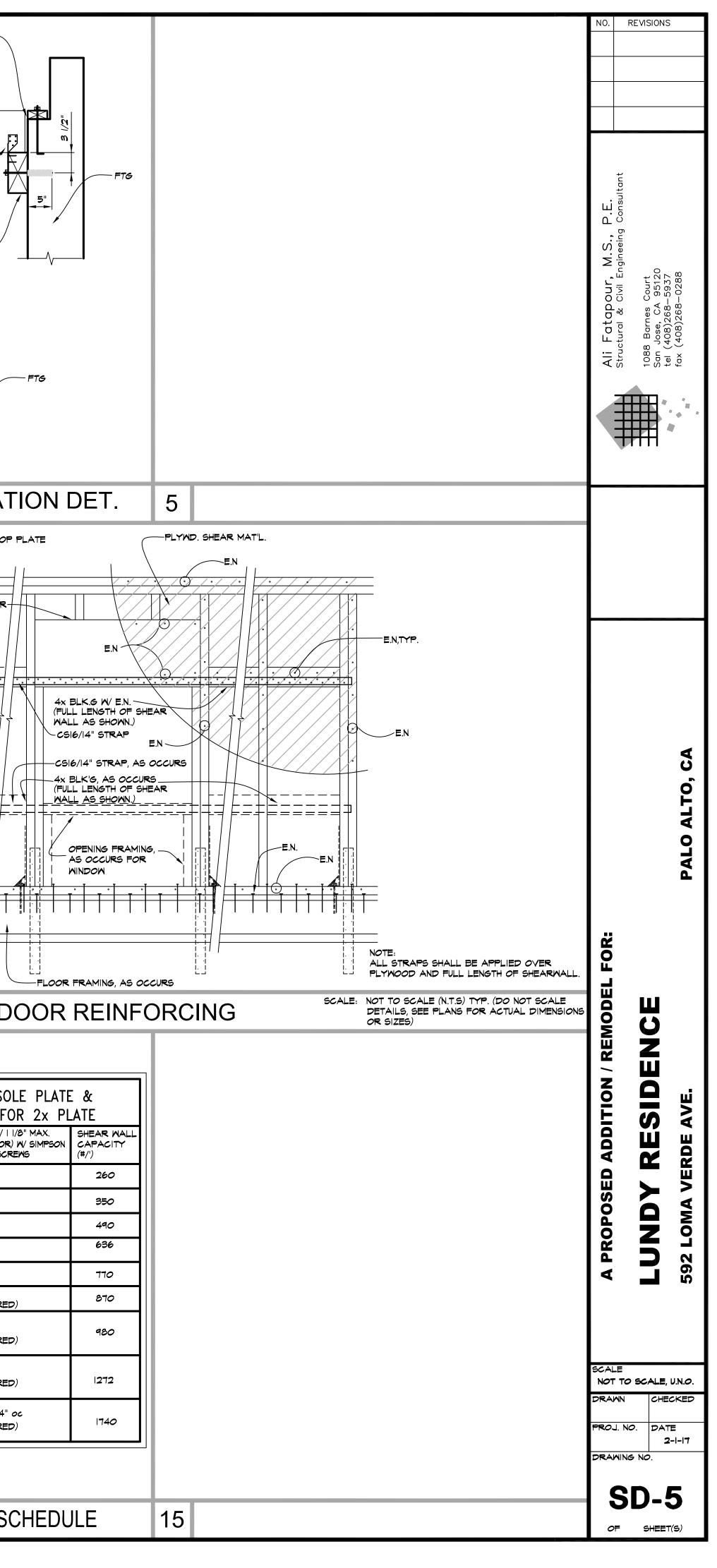
FRMG.	13	POST/BM DETAIL







		_		
INSTALLATION EADED ROD ENSION EADED COUPLER F. WHERE OCCURS	TIEDOWN TO POST AND ANCHOR BOLT TO FND. POVIDE THO. ROD AND 2" COUPLER WHERE CRIPPLE WALLS OCCUR BELOW I 1/2" CLR. MIN. FULL HEIGHT OF POST, TYP. CLDOWN ANCHOR BOLT CDIM. PER MANUF. SPECS. FOR INFO. FOR INFO. CLR I		I/2" AIR GAP BETWE GIRDER AND FOOTI GIRDER H2.5 CLIP EACH SIDE OF G 4x8 P.T.D.F. x 12" LONG LEDGER C ONTO GIRDER W/2-5/8¢ THREAD (H.D.G.) AT EPOXY AND SMOOTH S LEDGER AT 6" APART & 3" FROM (ALTERNATE: USE ALL-THREAD WI AT CONCRETE AND WOOD LEDGER (USE 2-5/8"¢ "J" BOLTS AT (N) COL GIRDER	SIRDER DED ROD SHAFT AT M ENDS TH EPOXY R).
B INSTALLATION	NOT SHOWN SEE A CORNER STUD NOT SHOWN SEE A NOT SHOWN SEE A SHOWN SEE A NOT SHOWN SEE A SHOWN SEE A SHOWN SHOWN SEE A SHOWN SEE A SHOWN SHOWN SHOWN SEE A SHOWN		'GH' HANGER	
	3 TYP. PLAN @ HOLDOWN	4	GIRDER TO F	OUNDAT
L TIEDOWN LOCATIONS. LEVEL ARE AND FOUNDATION HEET SD-4 FOR NS. L WINDOW OR DOOR S OR S.N. IF PLYWOOD PLATE & FLOOR STUD TO POST W/ EDOWN OCCURS. R. SHEAR WALL HEAR WALL HIS AREA.				
TYP. (DO NOT SCALE FOR ACTUAL DIMENSIONS	8	9	SPECIAL WIN	DOW / DO
ALL, AS OCCURS ALL, AS OCCURS ABLK'G. OR POST, AS OCCURS SON 'PB' POST BASE PAD GRADE -#4 AT & -#4 AT & -#4 AT & -#4 AT & -#5 AT 12"o.c., E.M., AT BOTT. OF FTG'S. U.N.O.	FLOOR PLYND STUDWALL PLYND, AS OCCURS SILL NAILING AT SILL NAILING AT INT. SHEAR MALL E.N. FLASHING AND WATER PROOFING, S.A.D. PAD GRADE NOTE: SEE DET OF OR OTHER INFO. NOT SHOWN		< PLYWOOD SUBFLOOR) W/ SIMPSON	ONNECTION FOI
	13 FOOTING AT SLAB	14	SOLE PLATE SCF	REWING SC
		-		_ ~ ~ ~



#### CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Lundy Cottage Calculation Date/Time: 17:17, Wed, Mar 22, 2017 Calculation Description: Title 24 Analysis Input File Name: #-011N Lundy Cottoge DM-592 Loma Verde Ave.ribd16x GENERAL INFORMATION 01 Project Name Lundy Cottage

	,	, , ,						
02	Calculation Description	Title 24 Analysis						
03	Project Location	592 Loma Verde Ave.						
04	City	Palo Alto	05	Standards Version	Compliance 2017			
06	Zip Code	94306	07	Compliance Manager Version	BEMCmpMgr 2016.2.1 (695)			
08	Climate Zone	CZ4	09	Software Version	EnergyPro 7.1			
10	Building Type	Single Family	11	Front Orientation (deg/Cardinal)	186			
12	Project Scope	Newly Constructed	13	Number of Dwelling Units	1			
14	Total Cond. Floor Area (ft <sup>2</sup> )	900	15	Number of Zones	1			
16	Slab Area (ft <sup>2</sup> )	0	17	Number of Stories	1			
18	Addition Cond. Floor Area	n/a	19	Natural Gas Available	Yes			
20	Addition Slab Area (ft <sup>2</sup> )	n/a	21	Glazing Percentage (%)	19.9%			
COMPL	COMPLIANCE RESULTS							
	01 Building Complies with Computer Performance							

02	02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.								
03	03 This building incorporates one or more Special Features shown below								
	THERS PROVIDER								
	ENERGY USE SUMMARY								
	04	05	06 07		08				
E	nergy Use (kTDV/ft <sup>2</sup> -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement				
	Space Heating	11.07	12.62	-1.55	-14.0%				
	Space Cooling	14.25	21.98	-7.73	-54.2%				
	IAQ Ventilation	1.28	1.28	0.00	0.0%				
	Water Heating	14.53	12.28	2.25	15.5%				
	Photovoltaic Offset		-9.54	9.54					

41.13

Registration Number:	217-P010091319A-000-000-0000000-0000
CA Building Energy Eff	ficiency Standards - 2016 Residential Compl

Compliance Energy Total

Registration Date/Time: 2017-03-23 09:09:53 pliance Report Version - CF1R-03032017-695

38.62

2.51

HERS Provider: CalCERTS inc. Report Generated at: 2017-03-22 17:17:54

6.1%

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD CF1R-PRF-01 Project Name: Lundy Cottage Calculation Date/Time: 17:17, Wed, Mar 22, 2017 Page 4 of 8 Calculation Description: Title 24 Analysis Input File Name: #-011N Lundy Cottoge DM-592 Loma Verde Ave.ribd16x

FENESTRATION	
FENESTRATION	GLAZING

01	02	03	04	05	06	07	08	09	10
Name	Туре	Surface (Orientation-Azimuth)	Width (ft)	Height (ft)	Multiplier	Area (ft <sup>2</sup> )	U-factor	SHGC	Exterior Shading
Front SLD.	Window	Front Wall (Front-186)			1	32.0	0.32	0.22	Insect Screen (default)
Left SLD.Patio Dr.W/Sidel	Window	Left Wall (Left-276)			1	66.7	0.32	0.22	Insect Screen (default)
Left SLD. Patio Dr.	Window	Left Wall (Left-276)			1	40.0	0.32	0.22	Insect Screen (default)
Back CAS.	Window	Back Wall (Back-6)			1	20.0	0.32	0.22	Insect Screen (default)
Right SLD.	Window	Right Wall (Right-96)			1	20.0	0.32	0.22	Insect Screen (default)
DPAQUE DOORS									
01			02				03		04
Name		Side	of Building				Area (f	t <sup>2</sup> )	U-factor
Door		F	ront Wall				20.0		0.50

CaCERTS, Inc. HERS PROVIDER

Registration Date/Time: 2017-03-23 09:09:53 HERS Provider: CalCERTS inc. Report Generated at: 2017-03-22 17:17:54

CF1R-PRF-01

Page 1 of 8

						TUOD							
	ame: Lundy Cottage			FORMANCE COMF			Data/Time	<b>9:</b> 17:17, Wed, M	lar 22 2017		CF1R-PRF-01 Page 2 of 8	CERTIFICATE OF COMF Project Name: Lundy Co	
-	on Description: Titl									Verde Ave.ribd16>	•	Calculation Description	•
ouloulutio					in p		me. # 011	In Lundy Collog		verde / weinbarto/	Υ.		
					ENERGY DE	SIGN RATI	NG					<b>BUILDING - FEATURES INI</b>	FORMATION
Energy De	sign Rating (EDR) is	an alternate w	ay to express t	the energy performa	nce of a buildi	ng using a	a scoring s	system where 100	represents the er	nergy performance	of the Residential	01	
that combi	ines high levels of er	nergy efficiency	y with renewab	n of the 2006 Internation ble generation to"zero t is not used to show	o out" its TDV	energy. B	ecause ED	R includes consi	deration of compo	onents not regulate	d by Title 24, Part 6	Project Name	Conc
Title 24, Pa	art 11 (CALGreen).				-		-	-	-			Lundy Cottage	
As a Stanc	lard Design building	under the 2016	6 Building Ener	rgy Efficiency Standa	ards is signific	antly mor	e efficient	than the baseline	EDR building, th	e EDR of the Stand	ard Design building	ZONE INFORMATION	
	d for Information. Sir n both be seen	nilarly, the EDF	R score of the F	Proposed Design is p	rovided sepa	rately from	ו the EDR ו	value of installed	PV so that the eff	fects of efficiency a	nd renewable	01	
	EDR of Standard Des	sign	E	DR of Proposed Des	ign		EDR Va	lue of Proposed I	PV	Final EDR of Pro	posed Design		
	46.8	_		49.9				53.7		-3.9	)	Zone Name	_
	Design meets Tier	1 requirement	of 15% or grea	ater code compliance	e margin (CAL	Green A4.	.203.1.2.1)	and QII verification	on prerequisite.			Guest House Floor Zone	
	Design meets Tier	2 requirement	of 30% or grea	ater code compliance	e margin (CAL	Green A4.	.203.1.2.2)	and QII verification	on prerequisite.			OPAQUE SURFACES	
	Design meets Zero	o Net Energy (Z	NE) Design De	esignation requireme	nt for Single I	amily in c	limate zor	ne CZ4 (San Jose)	(CALGreen A4.20	03.1.2.3) including o	on-site photovoltaic	01	
	(PV) renewable en	ergy generatio	n sufficient to	achieve a Final Ener	gy Design Rat	ing (EDR)	of zero or	less. The PV Sys	tem must be verif	ied.		Name	
ENERGY [	DESIGN RATING PV S	SYSTEM INPUT	S - DETAILED									Front Wall	
DC Syst	tem Size (kW)		Module Type	e	CFI	Azimu	th (deg)	Tilt Input	Array Angle (de	eg) Tilt:	Inverter Eff. (%)	Left Wall	
-							. <u>.</u> 90			(X III 12)	00	Back Wall	
	1		Standard Standard	<u> -                                   </u>			80	deg	22.0	4.8	96 96	Right Wall	
	1		Standard				80 70	deg deg	22.0	4.8	96	Interior Surface	
REQUIRED	D SPECIAL FEATURE	s										R-38 Roof attic 2	
•			as condition for	meeting the modeled	energy perform	nance for t	his compute	er analysis				Raised Floor	
	em: 3.0 kWdc				<u></u>							Front Wall 2	
-												Left Wall 2	
		e features that n	nust be field-ver	rified by a certified HE	RS Rater as a	condition fo	or meeting t	the modeled energ	v performance for t	this computer analys	is Additional detail is	Back Wall 2	
	the building compone								y performance for	and compater analyc		Right Wall 2	
-	evel Verifications:											Roof	
	ality insulation instal chanical ventilation	lation (QII)											
Cooling Sy <ul> <li> None</li> </ul>	ystem Verifications:											ATTIC	
HVAC Dist	ribution System Veri	fications:										01	<u> </u>
<ul> <li>Duct Sea</li> <li>Domestic I</li> </ul>	aling Hot Water System Ve	rifications										Name	Co
<ul> <li> None</li> </ul>	-											AtticGarage	Attic Ga
												Attic Guest House Floor Zone	Attic Roof

CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-03032017-695

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

03

**Construction Type** 

Wood Framed Wall

Wood Framed Ceiling

Wood Framed Ceiling

Wood Framed Ceiling

Wood Framed Wall

Wood Framed Floor

Wood Framed Ceiling

Wood Framed Wall

02

System Type

DHW

02

Surface Type

Exterior Walls

Ceilings (below

attic)

Attic Roofs

Attic Roofs

Exterior Walls

Floors Over

Ceilings (below

attic)

Interior Walls

Crawlspace

Registration Date/Time: 2017-03-23 09:09:53

04

Framing

2x4 @ 16 in. O.C.

2x4 @ 24 in. O.C.

in. O.C.

2x4 Top Chord of Roof Truss @ 24 in. O.C.

2x4 @ 16 in. O.C.

2x6 @ 16 in. O.C.

2x4 @ 24 in. O.C.

2x4 @ 16 in. O.C.

03

Distribution Type

Standard

02

Quality Installation of Spray Foam Insulation

Not Required

x4 Top Chord of Roof Truss @ 24

05

R-value

none

none

none

none

R 13

R 19

R 38

R 13

Total Cavity Winter Design

06

U-value

0.361

0.481

0.644

0.644

0.101

0.049

0.025

0.092

03

Building Envelope Air Leakage

Not Required

04

Water Heater

DHW Heater 1 (1)

HERS Provider: Report Generated at: 2017-03-22 17:17:54

WATER HEATERS		
01	02	2
Name	Hea Elemen	
DHW Heater 1	Ga	IS
SPACE CONDITIONIN	G SYSTE	MS
	01	
SC S	ys Name	
Res	HVAC1	
HVAC - HEATING UNIT	TYPES	
	01	
	Name	
Heat	ing Comp	onen
HVAC - COOLING UNI	T TYPES	;
01		
Name		
Cooling Compone	nt 1	
HVAC - DISTRIBUTIO	N SYSTE	MS
01		
Name		
Air Distribution Syste	em 1	
HVAC DISTRIBUTION	- HERS \	/ERIF
01		
Name		
Air Distribution Syster	n 1-hers-	dist

Registration Number: 217-P010091319A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-03032017-695

Registration Date/Time: 2017-03-23 09:09:53 HERS Provider: CalCERTS inc. Report Generated at: 2017-03-22 17:17:54

Calculation Date/Time: 17:17, Wed, Mar 22, 2017 Input File Name: #-011N Lundy Cottoge DM-592 Loma Verde Ave.ribd16x

07

Assembly Layers

Cavity / Frame: no insul. / 2x4 Top Chrd

Roofing: Light Roof (Asphalt Shingle)

Roofing: Light Roof (Asphalt Shingle)

Inside Finish: Gypsum Board

Cavity / Frame: R-13 / 2x4
Exterior Finish: 3 Coat Stucco

Cavity / Frame: R-19 / 2x6

Inside Finish: Gypsum Board Cavity / Frame: R-9.1 / 2x4

Inside Finish: Gypsum Board Cavity / Frame: R-13 / 2x4

05

Number of Heaters

1

Over Ceiling Joists: R-28.9 insul.

• Other Side Finish: Gypsum Board

Floor Surface: Carpeted

Cavity / Frame: no insul. / 2x4 Top Chrd

Roof Deck: Wood Siding/sheathing/decking

Floor Deck: Wood Siding/sheathing/decking

04

CFM50

----

06

Solar Fraction (%)

.0%

Roof Deck: Wood Siding/sheathing/decking

Inside Finish: Gypsum Board Cavity / Frame: no insul. / 2x4

Exterior Finish: 3 Coat Stucco Inside Finish: Gypsum Board

Cavity / Frame: no insul. / 2x4

CF1R-PRF-01 Page 5 of 8

CalCERTS inc.

Registration Number: 217-P010091319A-000-000-000000-0000

Project Name: Lundy Cottage

01

**Construction Name** 

Garage Ext Wall

Garage R-0 Roof Attic

Attic Garage Roof Cons

Attic RoofGuest House Floo

Zone

R-13 Wall

R-19 Floor Crawlspace

R-38 Roof Attic

R-13 Garage Wall

WATER HEATING SYSTEMS

01

Name

DHW Sys 1

**BUILDING ENVELOPE - HERS VERIFICATION** 

01

Quality Insulation Installation (QII)

Required

Calculation Description: Title 24 Analysis

OPAQUE SURFACE CONSTRUCTIONS

ERTIFICATE OF CO roject Name: Lundy alculation Descript	Cottage		vsis				Calculation Input File N				r 22, 2017 DM-592 Lom	a Verde Ave.	ribd16x	Pag	
UILDING - FEATURE	6 INFORM										1				
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Project Name		Conditi	oned Floor Area		Units		Number of Bed	rooms	Number of	Zones		ng Systems		ating Sys	
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ONE INFORMATION			02			03		04		05	1	)6		07	
							Zone	Floor Are		Ceiling					
Zone Name			one Type			stem Name	•	(ft <sup>2</sup> )	He	eight		ng System 1	Water H	eating Sy	stem
Guest House Floor Z	one	Co	onditioned		Res	HVAC1		900		8	DHW	/ Sys 1			
PAQUE SURFACES			02			03		04		05	06	-	07		08
Name			Zone			Constru	iction	Azimu	th Orie	entation	Gross Area (f	t <sup>2</sup> ) Window 8	Door Area	a (ft <sup>2</sup> ) Ti	lt (de
Front Wall		G	Guest House Floo	or Zone		R-13 V		186		Front	157		52		90
Left Wall		-	Guest House Floo			R-13 V		276		Left	360		106.7		90
Back Wall Right Wall		_	Guest House Floo Guest House Floo			R-13 V R-13 V		6 96		3ack Right	160 240		20 20		90 90
Interior Surfac	e		Guest House F	loor		R-13 Gara		<u> </u>			102		0		
R-38 Roof attic			Zone>>Gara Guest House Floo		<u>*  </u>	R-38 Roc				***** ×	900				
Raised Floor		-	Guest House Floo		R	R-19 Floor C					900				
Front Wall 2			Garage_	_		Garage E		186		Front	80		0		90
Left Wall 2 Back Wall 2			Garage_ Garage_			Garage E Garage E		276 6		Left Back	40	_	0		90 90
Right Wall 2			Garage			Garage E		96		Right	160		0		90
Roof	-		Garage_		(	Garage R-0	Roof Attic				196				
TTIC															
01			02		03		04		05		06	07		08	
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NOTE: PRIOR TO ORDERING OR PURCHASING ANY ITEMS RELATED TO TITLE 24 SUCH AS BUT NOT LIMITED TO: WINDOWS, DOORS, MECHANICAL EQUIPMENT, INSULATION, ETC., CONTRACTOR SHALL REVIEW MINIMUM REQUIREMENTS AS STATED IN THIS REPORT AND INFORM ALI ADIB IF MINIMUM REQUIREMENTS ARE NOT MET. IF SO, CALCULATIONS MUST BE REVISED AND APPROVED BY BUILDING DEPARTMENT PRIOR TO ORDERING AND PURCHASE

City, CA 94063 (650)363-2031 'ood Fax  $\geq$ Redv 2338, teng. **Ali Adib** 1202 Main St. R Tel. (650)363-23 Email: ata@atae **A** 02  $\square$  $\bigcirc$ IT <N OR NF  $\mathbf{A}$  $\sim$ E COTTAGE; **RESIDENCE** OMA VERDE LTO, CA 94306 LOMA ALTO, NEW ( LUNDY 592 LO PALOL AL DATE: 03-22-17 T24-01

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Lundy Cottage

Calculation Description: Title 24 Analysis

Calculation Date/Time: 17:17, Wed, Mar 22, 2017 Input File Name: #-011N Lundy Cottoge DM-592 Loma Verde Ave.ribd16x

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Name		Туре	Fan Power (Watts/C	FM) H	ERS Ver
HVAC Fan 1	Single	Speed PSC Furnace Fan	0.58		
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PROJECT NOTES

IF R-15 INSULATION IS USED, THEN IT MUST BE HIGH PERFORMANCE TYPE AND SHALL NOT BE COMPRESSED TO FIT INTO WALL CAVITY. NOTE: PRIOR TO ORDER PURCHASING ANY ITEMS RELATED TO TITLE 24 SUCH AS BUT NOT LIMITED TO: WINDOWS, DOORS, MECHANICAL EQUIPMENT, INSULATION, ETC., CONTRACTOR S MINIMUM REQUIREMENTS AS STATED IN THIS REPORT AND INFORM ALI ADIB IF MINIMUM REQUIREMENTS ARE NOT MET. IF SO, CALCULATIONS MUST BE REVISED BY BUILDING DEPARTMENT PRIOR TO ORDERING AND PURCHASE

Registration Number: 217-P010091319A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-03032017-695

Registration Date/Time: 2017-03-23 09:09:53 HERS Provider:

#### 2016 Low-Rise Residential Mandatory Measures Summary



<u>NOTE:</u> Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. \*Exceptions may apply. (Original 08/2016)

Building Envelop	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm/ft <sup>2</sup> or less when tested per
§ 110.6(a)1:	NFRC-400 or ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	Labeling. Fenestration products must have a label meeting the requirements of § 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from TABLES 110.6-A and 110.6-B for compliance and must be caulked and/or weatherstripped.*
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation specified or installed must meet Standards for Insulating Material.
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. A radiant barrier must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	<b>Ceiling and Rafter Roof Insulation.</b> Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or U-factor of 0.074 or less). Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a wood framed assembly.*
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3%; have a water vapor permeance no greater than 2.0 perm/inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In Climate Zones 1-16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)2:	Vapor Retarder. In Climate Zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
Fireplaces, Deco	rative Gas Appliances, and Gas Log Measures:
§ 150.0(e)1A:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)1B:	<b>Combustion Intake.</b> Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)1C:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*
§ 150.0(e)2:	Pilot Light. Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.
Space Condition	ng, Water Heating, and Plumbing System Measures:
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission.*
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in TABLE 110.2-A through TABLE 110.2-K.*
§ 110.2(b):	<b>Controls for Heat Pumps with Supplementary Electric Resistance Heaters.</b> Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.*
§ 110.2(c):	Thermostats. All unitary heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)5:	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)5.
§ 110.3(c)7:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBTU/hr (2 kW) must have isolation valves with hose bibbs or other fittings on both cold water and hot water lines of water heating systems to allow for water tank flushing when the valves are closed.
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appli- ances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heaters.
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; SMACNA Residential Comfort System Installation Standards Manual; or ACCA

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Building Envelop	e Measures:
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Manual J using design conditions specified in § 150.0(h)2.

Page 7 of 8	Project Name: Lundy Cottage	Calculation Date/Time: 17:17, Wed, Mar 22, 2017							
	Calculation Description: Title 24 Analysis	Input File Name: #-011N Lundy Cottoge DM-592 Loma Verde Ave.ribd16x	Page 8 of 8						
	DOCUMENTATION AUTHOR'S DECLARATION STATEMENT								
	1. I certify that this Certificate of Compliance documentation is accurate and complete.								
on	Documentation Author Name: Ali Adib	Documentation Author Signature:							
	Company: ATA Engineering	Signature Date: 2017-03-22 17:27:17							
06	Address: 1202 Main St.	CEA/HERS Certification Identification (If applicable):							
quired	City/State/Zip: Redwood City, CA 94063	Phone: 650-363-2338							
<b>P</b>	RESPONSIBLE PERSON'S DECLARATION STATEMENT								
R REVIEW APPROVED	<ol> <li>I certify the following under penalty of perjury, under the laws of the State of California:</li> <li>I am eligible under Division 3 of the Business and Professions Code to accept re</li> <li>I certify that the energy features and performance specifications identified on this Regulations.</li> </ol>	s Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the Califo ate of Compliance are consistent with the information provided on other applicable compliance do							
REVIEW	<ol> <li>I certify the following under penalty of perjury, under the laws of the State of California:         <ol> <li>I am eligible under Division 3 of the Business and Professions Code to accept re</li> <li>I certify that the energy features and performance specifications identified on this Regulations.</li> </ol> </li> <li>The building design features or system design features identified on this Certification is the system design features identified on the system design feature</li></ol>	s Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the Califo ate of Compliance are consistent with the information provided on other applicable compliance do							
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REVIEW	<ul> <li>I certify the following under penalty of perjury, under the laws of the State of California:         <ol> <li>I am eligible under Division 3 of the Business and Professions Code to accept re</li> <li>I certify that the energy features and performance specifications identified on this Regulations.</li> <li>The building design features or system design features identified on this Certifications submitted to the enforcement</li> </ol> </li> <li>Responsible Designer Name:     </li> <li>David Mokhber</li> </ul>	s Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the Califo ate of Compliance are consistent with the information provided on other applicable compliance do agency for approval with this building permit application. Responsible Designer Signature: Date Signed:							

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

CalCERTS inc. Report Generated at: 2017-03-22 17:17:54

Registration Number: 217-P010091319A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2016 Residential Compliance Report Version - CF1R-03032017-695

Registration Date/Time: 2017-03-23 09:09:53 HERS Provider: CalCERTS inc. Report Generated at: 2017-03-22 17:17:54

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### 2016 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. \*Exceptions may apply. xterior doors, and exterior pet doors must limit air leakage to 0.3 cfm/ft<sup>2</sup> or less when tested per /CSA 101/I.S.2/A440-2011. a label meeting the requirements of § 10-111(a). tration products must use U-factors and solar heat gain coefficient (SHGC) values from TABLES ust be caulked and/or weatherstripped.\* ther openings in the building envelope that are potential sources of air leakage must be caulked, s. Insulation specified or installed must meet Standards for Insulating Material. Floors. Heated slab floors must be insulated per the requirements of § 110.8(g). Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing 10.8(i) when the installation of a cool roof is specified on the CF1R. e an emittance of 0.05 or less and be certified to the Department of Consumer Affairs. num R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. or of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached teners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in ng which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited he roof deck or on top of a drywall ceiling.\* must meet the manufacturer's required density for the labeled R-value. n 2x4 inch wood framing wall or have a U-factor of 0.102 or less (R-19 in 2x6 or U-factor of 0.074 or t have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a sulation in raised wood framed floor or 0.037 maximum U-factor.\* n must meet all of the following: have a water absorption rate, for the insulation material alone without r vapor permeance no greater than 2.0 perm/inch; be protected from physical damage and UV light a heated slab floor, meet the requirements of § 110.8(g). e earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This ation crawl space for buildings complying with the exception to § 150.0(d). , a Class I or Class II vapor retarder must be installed on the conditioned space side of all and unvented attics with air-permeable insulation. iding skylights, separating conditioned space from unconditioned space or outdoors must have a average U-factor of all fenestration must not exceed 0.58.\* replaces must have a closable metal or glass door covering the entire opening of the firebox. It fireplaces must have a combustion outside air intake, which is at least six square inches in area operable, and tight-fitting damper or combustion-air control device.\* places must have a flue damper with a readily accessible control.\* and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of Measures: onditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated cturer to the Energy Commission.\* e applicable efficiency requirements in TABLE 110.2-A through TABLE 110.2-K.\* entary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters tary heater operation when the heating load can be met by the heat pump alone; and in which the is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for off temperature for supplementary heating.\* systems not controlled by a central energy management control system (EMCS) must have a ing Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must tion, pump priming, pump isolation valve, and recirculation loop connection requirements of § ters with an input rating greater than 6.8 kBTU/hr (2 kW) must have isolation valves with hose bibbs water lines of water heating systems to allow for water tank flushing when the valves are closed. ts are prohibited for natural gas: fan-type central furnaces; household cooking appliances (applionnection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heaters.\* ating and/or cooling loads are calculated in accordance with ASHRAE Handbook, Equipment

	2016 Low-Rise Residential Mandatory Measures Summary
§ 150.0(m)13:	<b>Duct System Sizing and Air Filter Grille Sizing.</b> Space conditioning systems that use forced air ducts to supply cooling to an occupiable space must have a hole for the placement of a static pressure probe (HSPP), or a permanently installed static pressure probe (PSPP) in the supply plenum. The space conditioning system must also demonstrate airflow $\geq$ 350 CFM per ton of nominal cooling capacity through the retu grilles, and an air-handling unit fan efficacy $\leq$ 0.58 W/CFM as confirmed by field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.3. This applies to both single zone central forced air systems and every zone for zonally controlled cent forced air systems.*
§150.0(o):	Ventilation for Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2. Neither window operation nor continuous operation of central forced air system air handlers used in central fan integrated ventilation systems are permissible methods of providing whole-building ventilation.
§ 150.0(o)1A:	Field Verification and Diagnostic Testing. Whole-building ventilation airflow must be confirmed through field verification and diagnostic testing, in accordance with Reference Residential Appendix RA3.7.
Pool and Spa S	ystems and Equipment Measures:
§ 110.4(a):	<b>Certification by Manufacturers.</b> Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficient that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*
§ 110.4(b)1:	Piping. Any pool or spa heating equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.
§ 110.4(b)2:	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional inlets and time switches for pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, fl rate, piping, filters, and valves.*
Lighting Measu	res:
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requiremen of § 110.9.*
§ 110.9(e):	JA8 High Efficacy Light Sources. To qualify as a JA8 high efficacy light source for compliance with § 150.0(k), a residential light source must be certified to the Energy Commission according to Reference Joint Appendix JA8.
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must be high efficacy in accordance with TABLE 150.0-A.
§ 150.0(k)1B:	Blank Electrical Boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, of fan speed control.
§ 150.0(k)1C:	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C. A JA8-2016-E light source rated for elevated temperature must be installed by final inspection in all recessed downlight luminaires in ceilings.
§ 150.0(k)1D:	Electronic Ballasts. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less th 20 kHz.
§ 150.0(k)1E:	Night Lights. Permanently installed night lights and night lights integral to installed luminaires or exhaust fans must be rated to consume no more than 5 watts of power per luminaire or exhaust fan as determined in accordance with § 130.0(c). Night lights do not need to be controlled by vacancy sensors.
§ 150.0(k)1F:	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).*
§ 150.0(k)1G:	Screw based luminaires. Screw based luminaires must not be recessed downlight luminaires in ceilings and must contain lamps that comply with Reference Joint Appendix JA8. Installed lamps must be marked with "JA8-2016" or "JA8-2016-E" as specified in Reference Joint Append JA8.*
§ 150.0(k)1H:	Enclosed Luminaires. Light sources installed in enclosed luminaires must be JA8 compliant and must be marked with "JA8-2016-E."
§ 150.0(k)2A:	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)2B:	Interior Switches and Controls. Exhaust fans must be switched separately from lighting systems.*
§ 150.0(k)2C:	Interior Switches and Controls. Luminaires must be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
§ 150.0(k)2D:	Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)2E:	Interior Switches and Controls. No control must bypass a dimmer or vacancy sensor function if the control is installed to comply with § 150.0(k).
§ 150.0(k)2F:	Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.
§ 150.0(k)2G:	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with dimmer requirements if it: functions as a dimmer according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.5(f); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	Interior Switches and Controls. An EMCS may be used to comply with vacancy sensor requirements in § 150.0(k) if it meets all of the following: it functions as a vacancy sensor according to § 110.9; the Installation Certificate requirements of § 130.4; the EMCS requirements of 130.5(f); and all other requirements in § 150.0(k)2.
§ 150.0(k)2I:	Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.

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ear (N)	20.0	0.320	0.22	none		none	Bug Screen		New
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1 Smail Instanta	aneous Gas								

g 150.0(k)25.	be controlled by a vacancy sensor.
§ 150.0(k)2K:	Interior Switches and Controls. Dimmers or vacancy sensors must control all luminaires required to have light sources compliant with Reference Joint Appendix JA8, except luminaires in closets less than 70 square feet and luminaires in hallways.*
§ 150.0(k)2L:	Interior Switches and Controls. Undercabinet lighting must be switched separately from other lighting systems.
§ 150.0(k)3A:	<b>Residential Outdoor Lighting.</b> For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either item § 150.0(k)3Aii (photocell and motion sensor) or item § 150.0(k)3Aiii (photo control and automatic time switch control, astronomical time clock, or EMCS).
§ 150.0(k)3B:	Residential Outdoor Lighting. For low-rise multifamily residential buildings, outdoor lighting for private patios, entrances, balconies, and porches; and outdoor lighting for residential parking lots and residential carports with less than eight vehicles per site must comply with either § 150.0(k)3A or with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	<b>Residential Outdoor Lighting.</b> For low-rise residential buildings with four or more dwelling units, outdoor lighting not regulated by § 150.0(k)3B or § 150.0(k)3D must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3D:	Residential Outdoor Lighting. Outdoor lighting for residential parking lots and residential carports with a total of eight or more vehicles per site must comply with the applicable requirements in §§ 110.9, 130.0, 130.2, 130.4, 140.7, and 141.0.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in §§ 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)6A:	Interior Common Areas of Low-rise Multi-Family Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be high efficacy luminaires and controlled by an occupant sensor.
§ 150.0(k)6B:	Interior Common Areas of Low-rise Multi-Family Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting in that building must: i. Comply with the applicable requirements in §§ 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Bui	ldings:
§ 110.10(a)1:	Single Family Residences. Single family residences located in subdivisions with ten or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete by the enforcement agency must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	Low-rise Multi-family Buildings. Low-rise multi-family buildings must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	<ul> <li>Minimum Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet.</li> <li>For single family residences the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of the building, or on the roof or overhang of the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area.<sup>*</sup></li> </ul>
§ 110.10(b)2:	<b>Orientation.</b> All sections of the solar zone located on steep-sloped roofs must be oriented between 110 degrees and 270 degrees of true north.
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
} 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location for inverters and metering equipment and a pathway for routing of conduit from the solar zone to the point of interconnection with the electrical service (for single family residences the point of interconnection will be the main service panel); and a pathway for routing of plumbing from the solar zone to the water-heating system.
§ 110.10(d):	<b>Documentation.</b> A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)2:	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be: positioned at the opposite (load) end from the input feeder location or

<b>Ali Adib</b> 1202 Main St. Redwood City, CA 94063 Tel. (650)363-2338, Fax (650)363-2031 Email: ata@ataeng.net
TITLE 24 INFORMATION
NEW COTTAGE; LUNDY RESIDENCE 592 LOMA VERDE PALOL ALTO, CA 94306
DATE: 03-22-17

### LEGEND

EXISTING	PROPOSED
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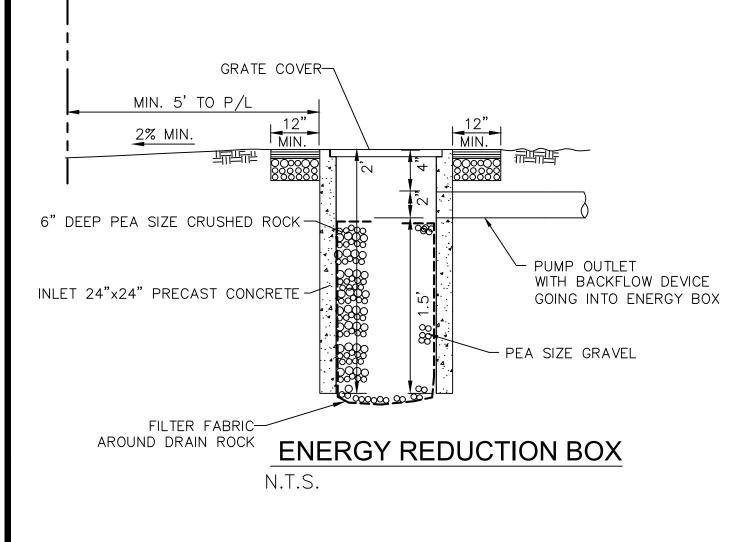
DESCRIPTION PROPERTY LINE WATER LINE STORM DRAIN LINE SANITARY SEWER LINE OVERHEAD UTILITIES WITH POLE JOINT TRENCH SANITARY SEWER MANHOLE MANHOLE MONUMENT IN WELL WATER METER TREE WITH TRUNK

6' WOOD FENCE

SPOT ELEVATION

SPLASH BLOCKS FOR ROOF DOWNSPOUTS

	ABBREVIATIONS					
	DESCRIP TION		DESCRIPTION			
AB AC AD BC BFL BW C&G CFF CLSW CO CP DI DTL ELCT EP CUC (E),EX FG FH FL FOC GB FF UN IN V JB	AGGREGATE BASE (CLASS AS NOTED) ASPHALT CONCRETE AREA DRAIN BACK OF CURB BACK FLOW WATER PREVENTOR VALVE BOTTOM OF WALL BACK OF WALK CURB AND GUTTER GARAGE FINISH FLOOR (BACK) CENTERLINE CENTERLINE SWALE CLEANOUT CONTROL POINT DRIVEWAY DROP INLET DETAIL ELECTRIC EDGE OF PAVEMENT ELEVATION EUCALYPTUS TREE EXISTING FINISH FLOOR FINISH FLOOR FINISH GRADE FIRE HYDRANT FLOWLINE FENCE FACE OF CURB GRADE BREAK GARAGE FINISH FLOOR (FRONT) GUY WIRE HIGH POINT IRON PIPE INVERT JOINT POLE JUNCTION BOX (UTILITY)	LP N 20 B C V V P P P P P P P P P P P P P P P P P	LIP OF GUTTER LOW POINT MONUMENT NEW ORIGINAL GROUND PULL BOX PG&E VAULT PROPERTY LINE POWER POLE PLASTIC PERFORATED PIPE PUBLIC SERVICE EASEMENT POLYVINYL CHLORIDE RIGHT OF WAY REINFORCED CONCRETE PIPE STORM DRAIN STORM D			



# GRADING AND DRAINAGE PLANS COTTAGE ADDITION 592 LOMA VERDE AVENUE, PALO ALTO, CA APN: 132-10-198

#### SITE GRADING NOTES

- 1. ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. CONTRACTOR SHALL NOTIFY THE CITY OF PALO ALTO AT LEAST 48 HOURS BEFORE THE START OF ANY GRADING WORK.
- 2. ALL DEBRIS, VEGETATION AND ORGANICALLY CONTAMINATED SOILS SHALL BE CLEARED FROM THE BUILDING AREAS AND REMOVED FROM THE SITE.
- 3. FILL MATERIAL MAY INCLUDE ORGANIC-FREE SOILS AVAILABLE AT THE SITE OR IMPORTED MATERIALS.
- 4. FILLS SHALL BE PLACED ON LEVEL BENCHES IN LIFTS NO GREATER THAN 6 INCHES AND SHALL BE COMPACTED.
- 5. PERMANENT CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1.
- 6. CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY.

#### DRAINAGE NOTES

- 1. SURFACE WATER SHALL BE DIRECTED AWAY FROM ALL BUILDINGS INTO DRAINAGE SWALES, GUTTERS OR PAVED SURFACES.
- 2. ALL ROOF DOWN SPOUTS SHALL DISCHARGE ONTO SPLASH BLOCKS AND DIRECTED AWAY FROM BUILDING.

#### NOTE:

- GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT SOILS ENGINEER.

#### UTILITY NOTES:

- 1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 2. CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- 3. CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES. PER UTILITY COMPANY STANDARDS.
- WITH ADJACENT PROPERTY OWNERS.
- 5. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

#### **ELECTRICAL NOTES:**

- APPLICANT RESPONSIBLE FOR ALL PERMITS AND SUBSTRUCTURE.
- CARE MUST BE TAKEN TO LIMIT OUTAGES FOR OTHER CUSTOMERS.
- ALL SUBSTRUCTURE MUST BE APPROVED BY CALLING UNDERGROUND INSPECTOR AT 650-496-5934.
  - FINAL CONNECTION.
  - PRIOR TO BEING ENERGIZED.

- ALL WORK PER NEC AND CPAU CODE

### CITY OF PALO ALTO NOTE:

ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

APPLICANT AND CONTRACTOR WILL BE RESPONSIBLE FOR RESURFACING PORTIONS OF LOS PALOS PL BASED ON THE ROADWAY SURFACE CONDITION AFTER PROJECT COMPLETION AND LIMITS OF TRENCH WORK. AT A MINIMUM PAVEMENT RESURFACING OF THE FULL WIDTH OF THE STREET ALONG THE PROJECT FRONTAGE MAY BE REQUIRED.

#### PROJECT-SPECIFIC NOTE

"THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING BASEMENT AND DRILLED PIER EXCAVATIONS, RETAINING WALL BACKDRAINS AND BACKFILL, SUBGRADE PREPARATION BENEATH HARDSCAPE, COMPACTION OF ENGINEERED FILL, PLACEMENT AND COMPACTION OF ENGINEERED FILL, BACKFILL IN UTILITY TRENCHES, AND INSTALLATION OF SITE DRAINAGE CONTROLS, SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED AUGUST 12, 2016. MURRAY ENGINEERS INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY GEOTECHNICAL ASPECTS OF THE CONSTRUCTION AND SHOULD BE PRESENT TO OBSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT."

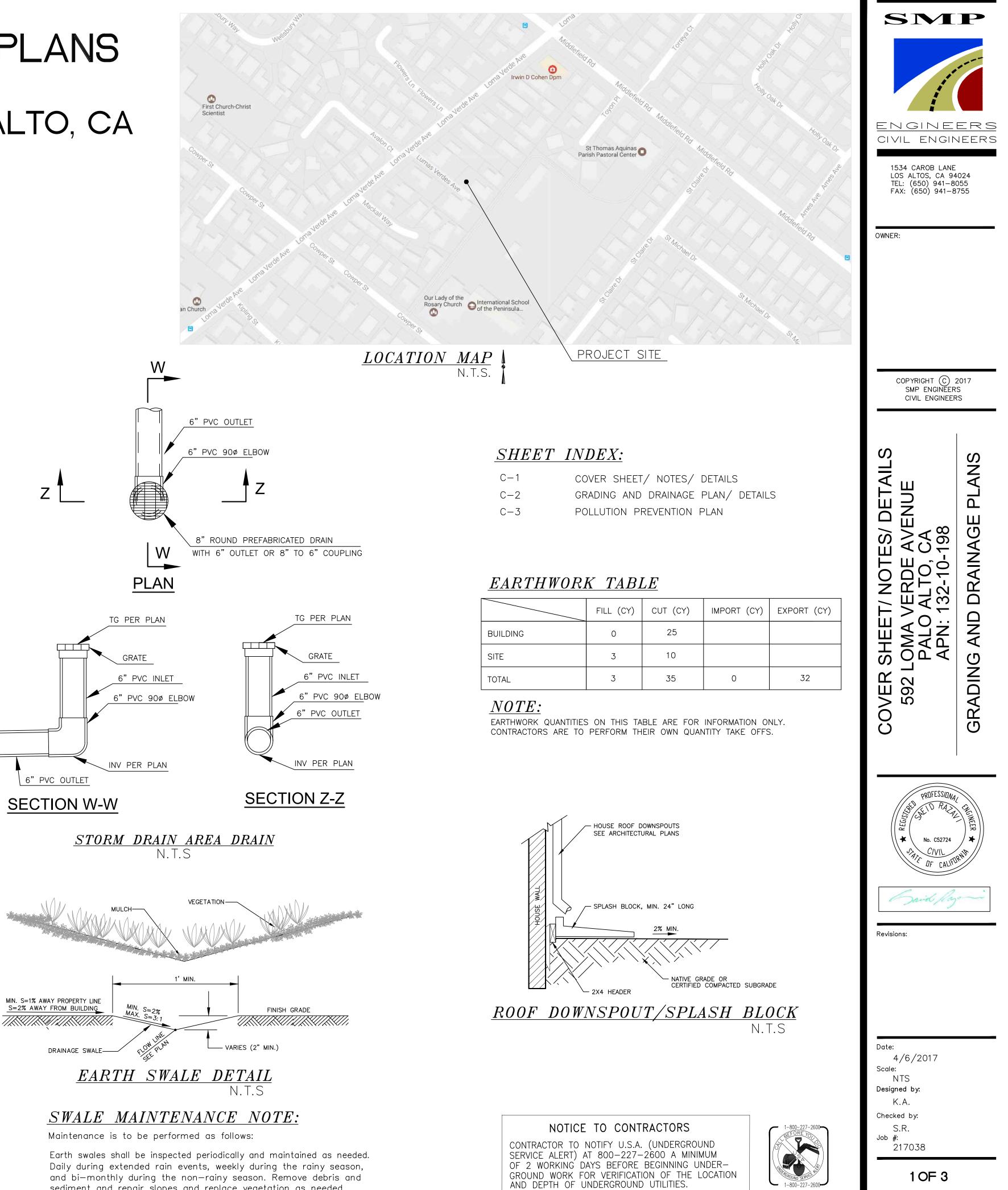


4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES

- NEW 400A SERVICE PANEL TO BE APPROVED BY ELECTRIC ENGINEERING PRIOR TO

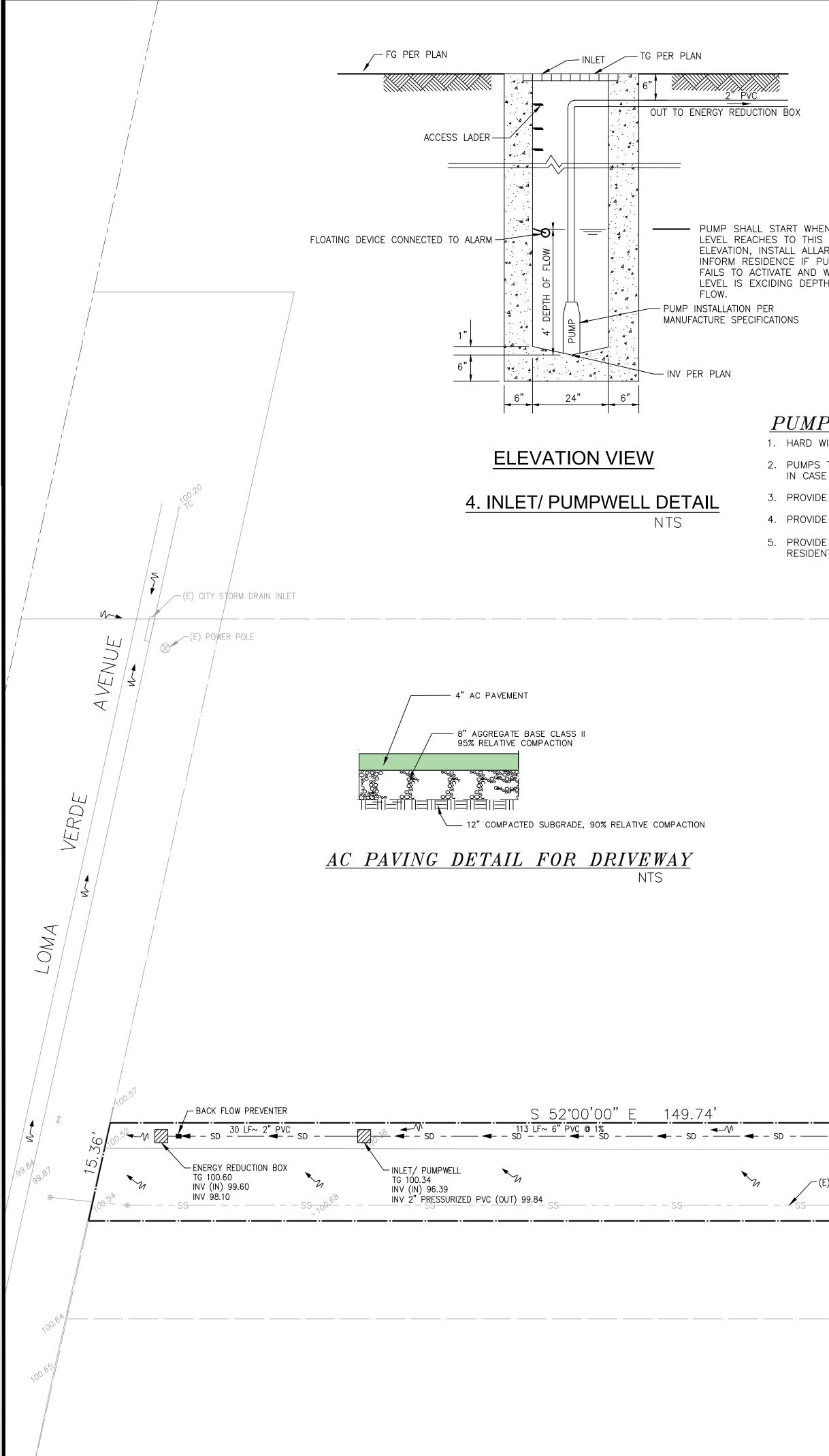
– ALL PANEL WORK MUST BE INSPECTED AND APPROVED BY BUILDING INSPECTOR





sediment and repair slopes and replace vegetation as needed.

C-



PUMP SHALL START WHEN WATER ELEVATION, INSTALL ALLARM TO INFORM RESIDENCE IF PUMP FAILS TO ACTIVATE AND WATER LEVEL IS EXCIDING DEPTH OF

### PUMP NOTES:

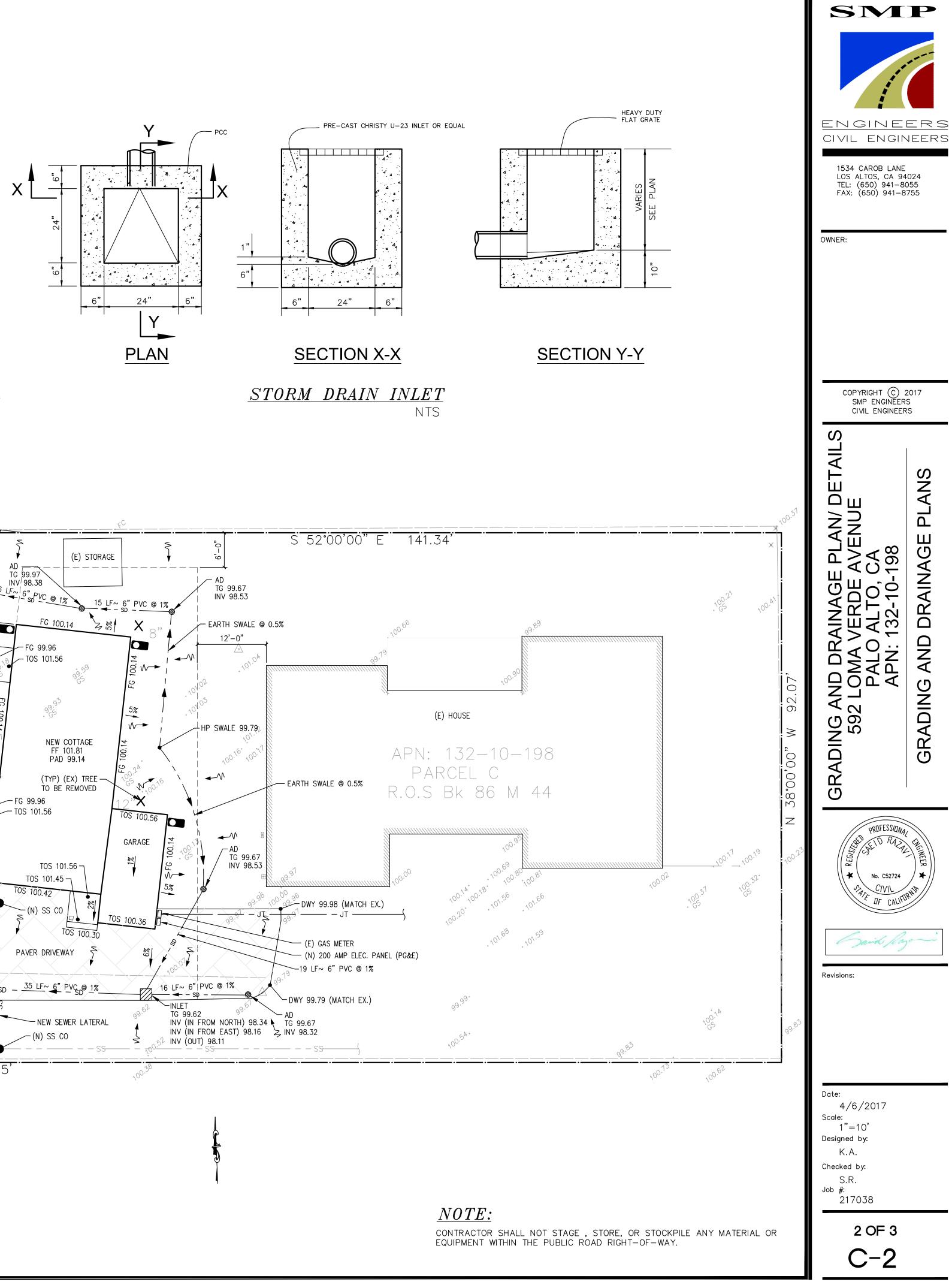
1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.

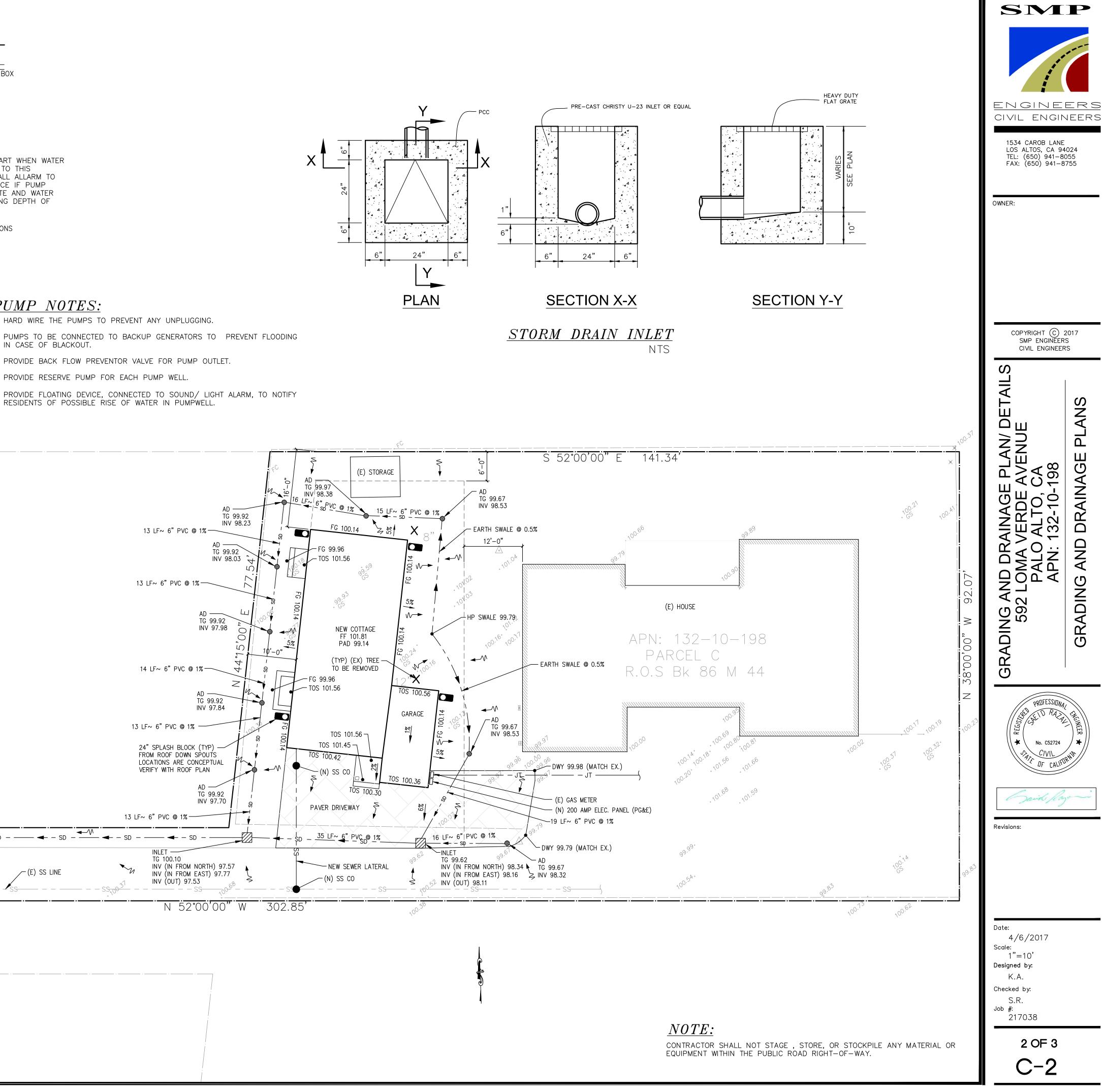
2. PUMPS TO BE CONNECTED TO BACKUP GENERATORS TO PREVENT FLOODING IN CASE OF BLACKOUT.

3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.

4. PROVIDE RESERVE PUMP FOR EACH PUMP WELL.

5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY





# **POLLUTION PREVENTION — IT'S PART OF THE PLAN** Construction projects are required to implement year-round stormwater BMPs, as they apply to your project.

Runoff from streets and other paved areas is a major source of pollution to San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep construction dirt, debris, and other pollutants out of storm drains and local creeks. Following these guidelines will ensure your compliance with City of Palo Alto Ordinance requirements.



# MATERIALS & WASTE MANAGEMENT

### **Non-Hazardous Materials**

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- □ Use (but don't overuse) reclaimed water for dust control.
- □ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- □ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- □ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

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- □ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- □ Keep site clear of litter (e.g. lunch items, cigarette butts).
- □ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

### **Construction Entrances and Perimeter**

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.



# EQUIPMENT MANAGEMENT EARTHMOVING **& SPILL CONTROL**

### Maintenance and Parking

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- □ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
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- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

### Spill Prevention and Control

- □ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- □ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- □ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- □ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil
- □ Report any hazardous materials spills immediately! Call City of Palo Alto Communications, (650) 329-2413. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

- □ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
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- □ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- □ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned wells.
- Buried barrels, debris, or trash.

### Landscaping

- □ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
  - Stack bagged material on pallets and under cover.
  - Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

- Abandoned underground tanks.
- □ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not distrurbed by construction activities.



### Grading and Earthwork

□ Schedule grading and excavation work during dry weather.



# **CONCRETE MANAGEMENT** & DEWATERING

### **Concrete Management**

- □ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- □ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- □ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

### Dewatering

- □ Reuse water for dust control, irrigation or another on-site purpose to the greatest extent possible.
- Be sure to obtain a Permit for Construction in the Public Street from Public Works Engineering before discharging water to a street, gutter, or storm drain. Call the Regional Water Quality Control Plant (RWQCP) at (650) 329-2598 for an inspection prior to commencing discharge. Use filtration or diversion through a basin, tank, or sediment trap as required by the approved dewatering plan. Dewatering is not permitted from October to April.
- □ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the City inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

# **PAVING/ASPHALT** WORK

### Paving

- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- □ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

### Sawcutting & Asphalt/Concrete Removal

- □ Protect storm drain inlets during saw cutting. □ If saw cut slurry enters a catch basin, clean it up immediately.
- □ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.



# STORM DRAIN POLLUTERS MAY BE LIABLE FOR FINES OF UP TO \$10,000 PER DAY!



# **PAINTING & PAINT** REMOVAL

### **Painting Cleanup and Removal**

- □ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- □ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- □ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust from nonhazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- □ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state certified contractor.



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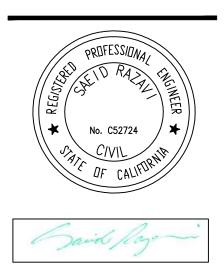
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Revisions:

Date: 4/6/2017 Scale: NTS Designed by: K.A. Checked by: S.R. Job #: 217038

3 OF 3

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### LEGEND

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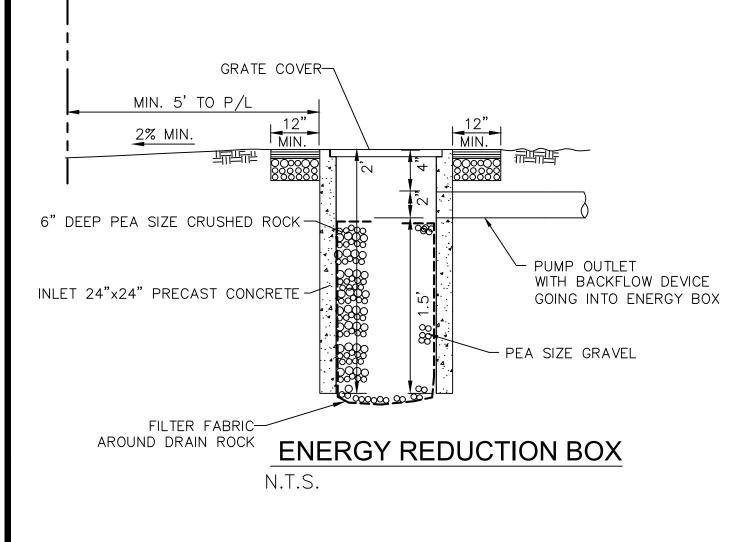
DESCRIPTION PROPERTY LINE WATER LINE STORM DRAIN LINE SANITARY SEWER LINE OVERHEAD UTILITIES WITH POLE JOINT TRENCH SANITARY SEWER MANHOLE MANHOLE MONUMENT IN WELL WATER METER TREE WITH TRUNK

6' WOOD FENCE

SPOT ELEVATION

SPLASH BLOCKS FOR ROOF DOWNSPOUTS

	ABBREVIATIONS					
	DESCRIP TION		DESCRIPTION			
AB AC AD BC BFL BW C&G CFF CLSW CO CP DI DTL ELCT EP CUC (E),EX FG FH FL FOC GB FF UN IN V JB	AGGREGATE BASE (CLASS AS NOTED) ASPHALT CONCRETE AREA DRAIN BACK OF CURB BACK FLOW WATER PREVENTOR VALVE BOTTOM OF WALL BACK OF WALK CURB AND GUTTER GARAGE FINISH FLOOR (BACK) CENTERLINE CENTERLINE SWALE CLEANOUT CONTROL POINT DRIVEWAY DROP INLET DETAIL ELECTRIC EDGE OF PAVEMENT ELEVATION EUCALYPTUS TREE EXISTING FINISH FLOOR FINISH FLOOR FINISH GRADE FIRE HYDRANT FLOWLINE FENCE FACE OF CURB GRADE BREAK GARAGE FINISH FLOOR (FRONT) GUY WIRE HIGH POINT IRON PIPE INVERT JOINT POLE JUNCTION BOX (UTILITY)	LP N 20 B C V V P P P P P P P P P P P P P P P P P	LIP OF GUTTER LOW POINT MONUMENT NEW ORIGINAL GROUND PULL BOX PG&E VAULT PROPERTY LINE POWER POLE PLASTIC PERFORATED PIPE PUBLIC SERVICE EASEMENT POLYVINYL CHLORIDE RIGHT OF WAY REINFORCED CONCRETE PIPE STORM DRAIN STORM D			



# GRADING AND DRAINAGE PLANS COTTAGE ADDITION 592 LOMA VERDE AVENUE, PALO ALTO, CA APN: 132-10-198

#### SITE GRADING NOTES

- 1. ALL GRADING IS SUBJECT TO OBSERVATION BY THE CITY. CONTRACTOR SHALL NOTIFY THE CITY OF PALO ALTO AT LEAST 48 HOURS BEFORE THE START OF ANY GRADING WORK.
- 2. ALL DEBRIS, VEGETATION AND ORGANICALLY CONTAMINATED SOILS SHALL BE CLEARED FROM THE BUILDING AREAS AND REMOVED FROM THE SITE.
- 3. FILL MATERIAL MAY INCLUDE ORGANIC-FREE SOILS AVAILABLE AT THE SITE OR IMPORTED MATERIALS.
- 4. FILLS SHALL BE PLACED ON LEVEL BENCHES IN LIFTS NO GREATER THAN 6 INCHES AND SHALL BE COMPACTED.
- 5. PERMANENT CUT AND FILL SLOPES SHALL NOT BE STEEPER THAN 2:1.
- 6. CONTRACTOR SHALL NOT STAGE, STORE, OR STOCKPILE ANY MATERIAL OR EQUIPMENT WITHIN THE PUBLIC ROAD RIGHT-OF-WAY.

#### DRAINAGE NOTES

- 1. SURFACE WATER SHALL BE DIRECTED AWAY FROM ALL BUILDINGS INTO DRAINAGE SWALES, GUTTERS OR PAVED SURFACES.
- 2. ALL ROOF DOWN SPOUTS SHALL DISCHARGE ONTO SPLASH BLOCKS AND DIRECTED AWAY FROM BUILDING.

#### NOTE:

- GRADING AND DRAINAGE PLANS SHALL BE REVIEWED AND APPROVED BY THE PROJECT SOILS ENGINEER.

#### UTILITY NOTES:

- 1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 2. CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- 3. CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES. PER UTILITY COMPANY STANDARDS.
- WITH ADJACENT PROPERTY OWNERS.
- 5. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

#### **ELECTRICAL NOTES:**

- APPLICANT RESPONSIBLE FOR ALL PERMITS AND SUBSTRUCTURE.
- CARE MUST BE TAKEN TO LIMIT OUTAGES FOR OTHER CUSTOMERS.
- ALL SUBSTRUCTURE MUST BE APPROVED BY CALLING UNDERGROUND INSPECTOR AT 650-496-5934.
  - FINAL CONNECTION.
  - PRIOR TO BEING ENERGIZED.

- ALL WORK PER NEC AND CPAU CODE

### CITY OF PALO ALTO NOTE:

ANY CONSTRUCTION WITHIN THE CITY RIGHT-OF-WAY MUST HAVE AN APPROVED "PERMIT FOR CONSTRUCTION IN THE PUBLIC STREET" PRIOR TO COMMENCEMENT OF THIS WORK. THE PERFORMANCE OF THIS WORK IS NOT AUTHORIZED BY THE BUILDING PERMIT ISSUANCE BUT SHOWN ON THE BUILDING PERMIT FOR INFORMATION ONLY.

APPLICANT AND CONTRACTOR WILL BE RESPONSIBLE FOR RESURFACING PORTIONS OF LOS PALOS PL BASED ON THE ROADWAY SURFACE CONDITION AFTER PROJECT COMPLETION AND LIMITS OF TRENCH WORK. AT A MINIMUM PAVEMENT RESURFACING OF THE FULL WIDTH OF THE STREET ALONG THE PROJECT FRONTAGE MAY BE REQUIRED.

#### PROJECT-SPECIFIC NOTE

"THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING BASEMENT AND DRILLED PIER EXCAVATIONS, RETAINING WALL BACKDRAINS AND BACKFILL, SUBGRADE PREPARATION BENEATH HARDSCAPE, COMPACTION OF ENGINEERED FILL, PLACEMENT AND COMPACTION OF ENGINEERED FILL, BACKFILL IN UTILITY TRENCHES, AND INSTALLATION OF SITE DRAINAGE CONTROLS, SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC., DATED AUGUST 12, 2016. MURRAY ENGINEERS INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY GEOTECHNICAL ASPECTS OF THE CONSTRUCTION AND SHOULD BE PRESENT TO OBSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT."

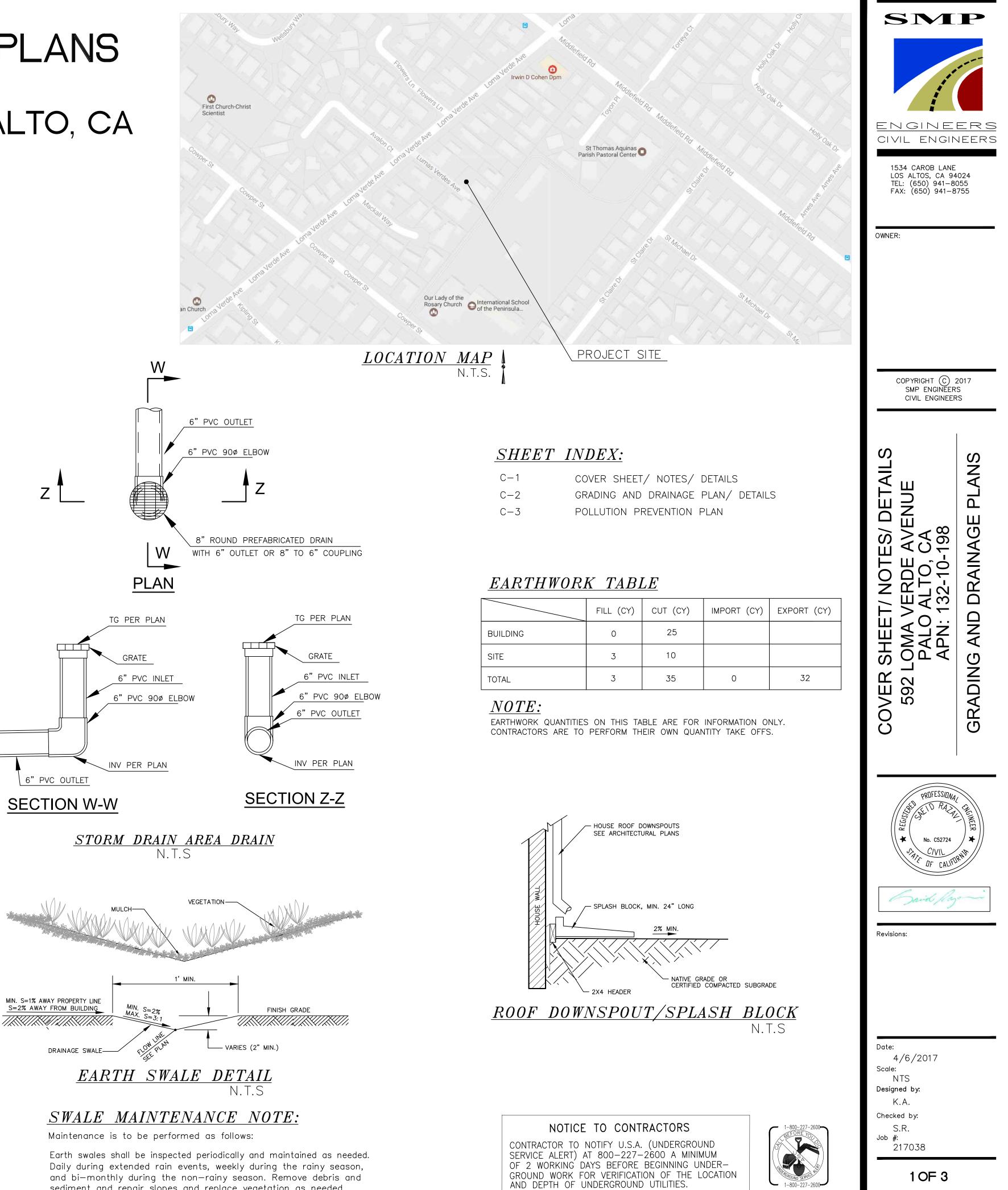


4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES

- NEW 400A SERVICE PANEL TO BE APPROVED BY ELECTRIC ENGINEERING PRIOR TO

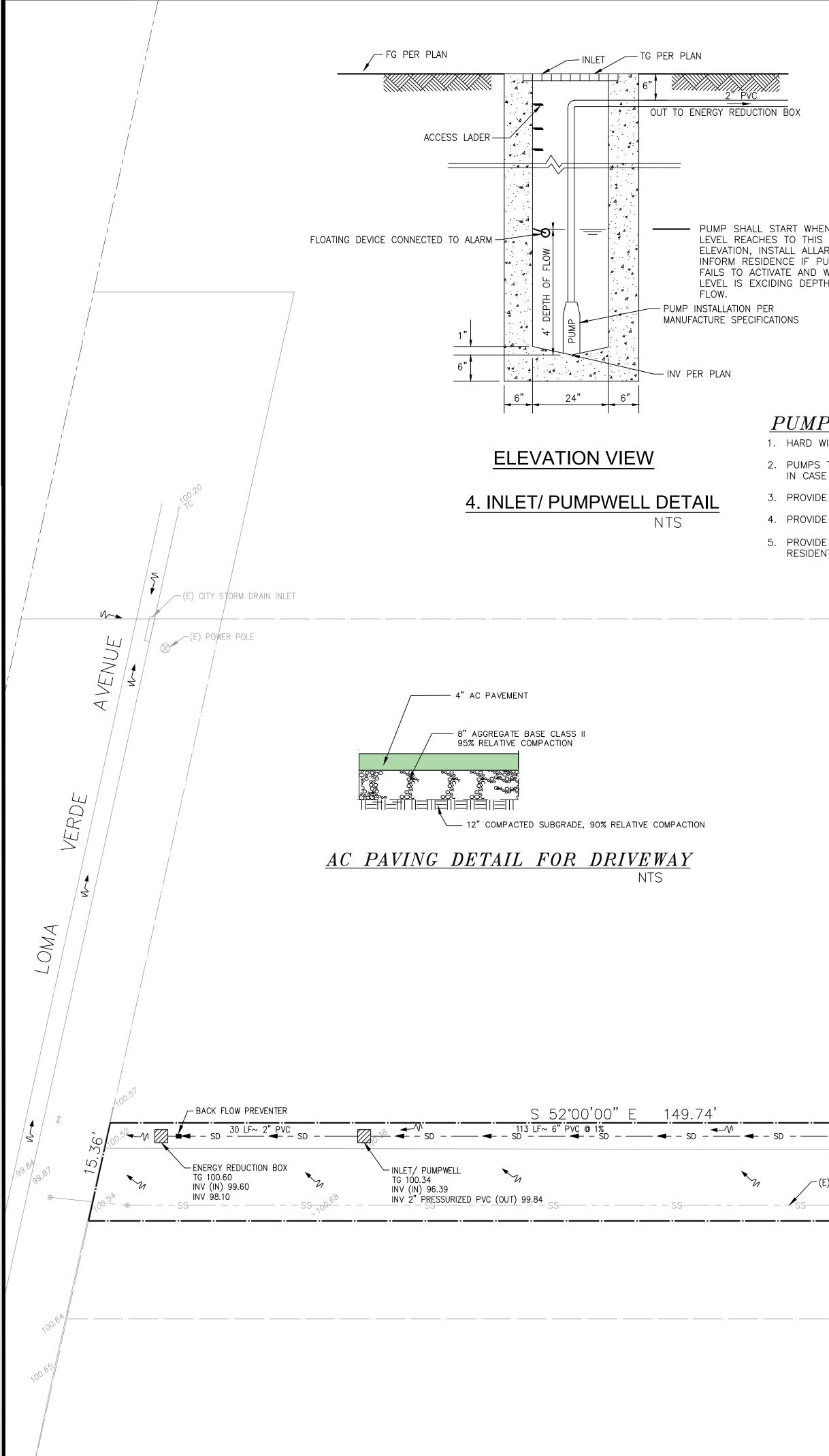
– ALL PANEL WORK MUST BE INSPECTED AND APPROVED BY BUILDING INSPECTOR





sediment and repair slopes and replace vegetation as needed.

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PUMP SHALL START WHEN WATER ELEVATION, INSTALL ALLARM TO INFORM RESIDENCE IF PUMP FAILS TO ACTIVATE AND WATER LEVEL IS EXCIDING DEPTH OF

### PUMP NOTES:

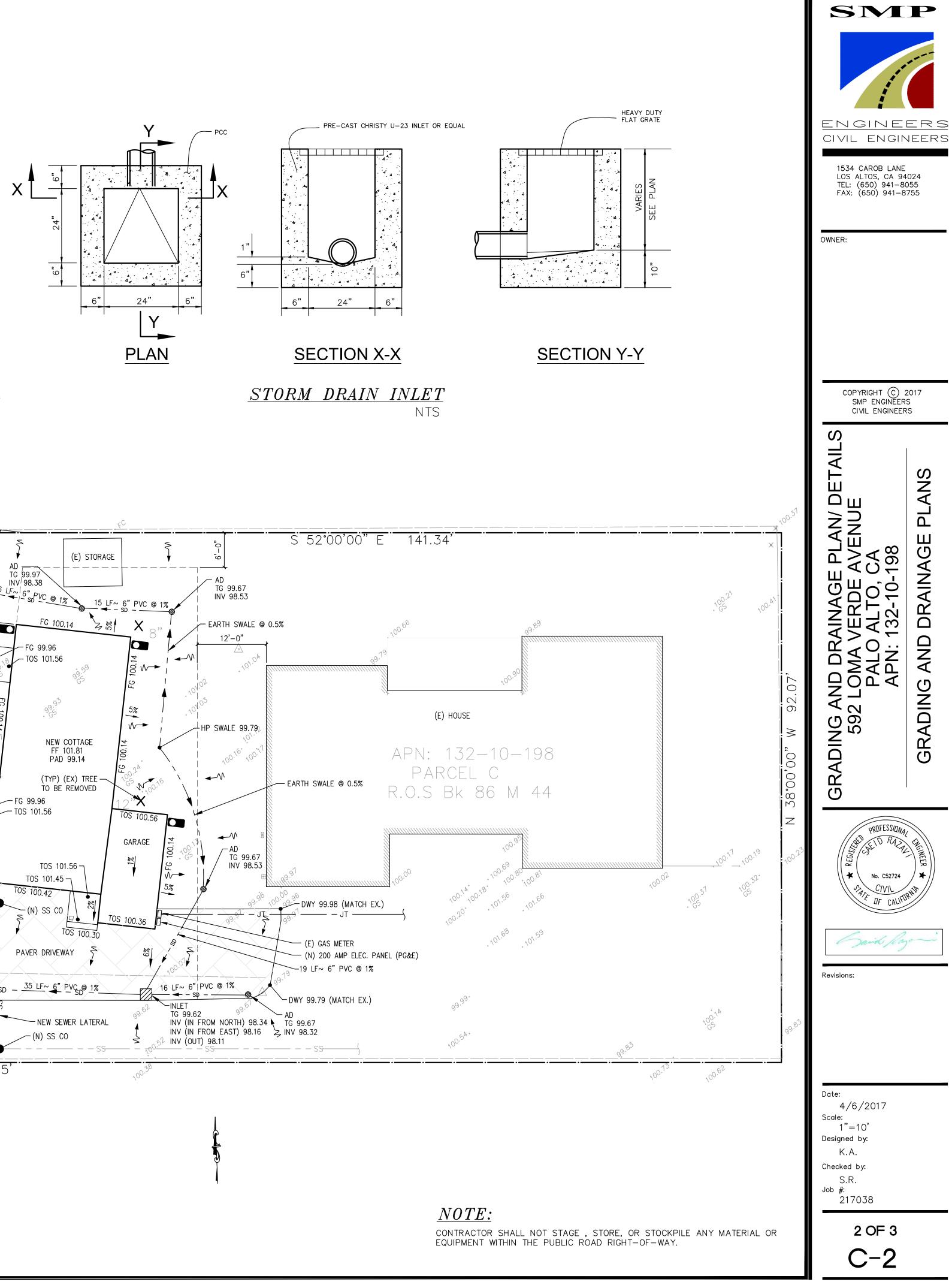
1. HARD WIRE THE PUMPS TO PREVENT ANY UNPLUGGING.

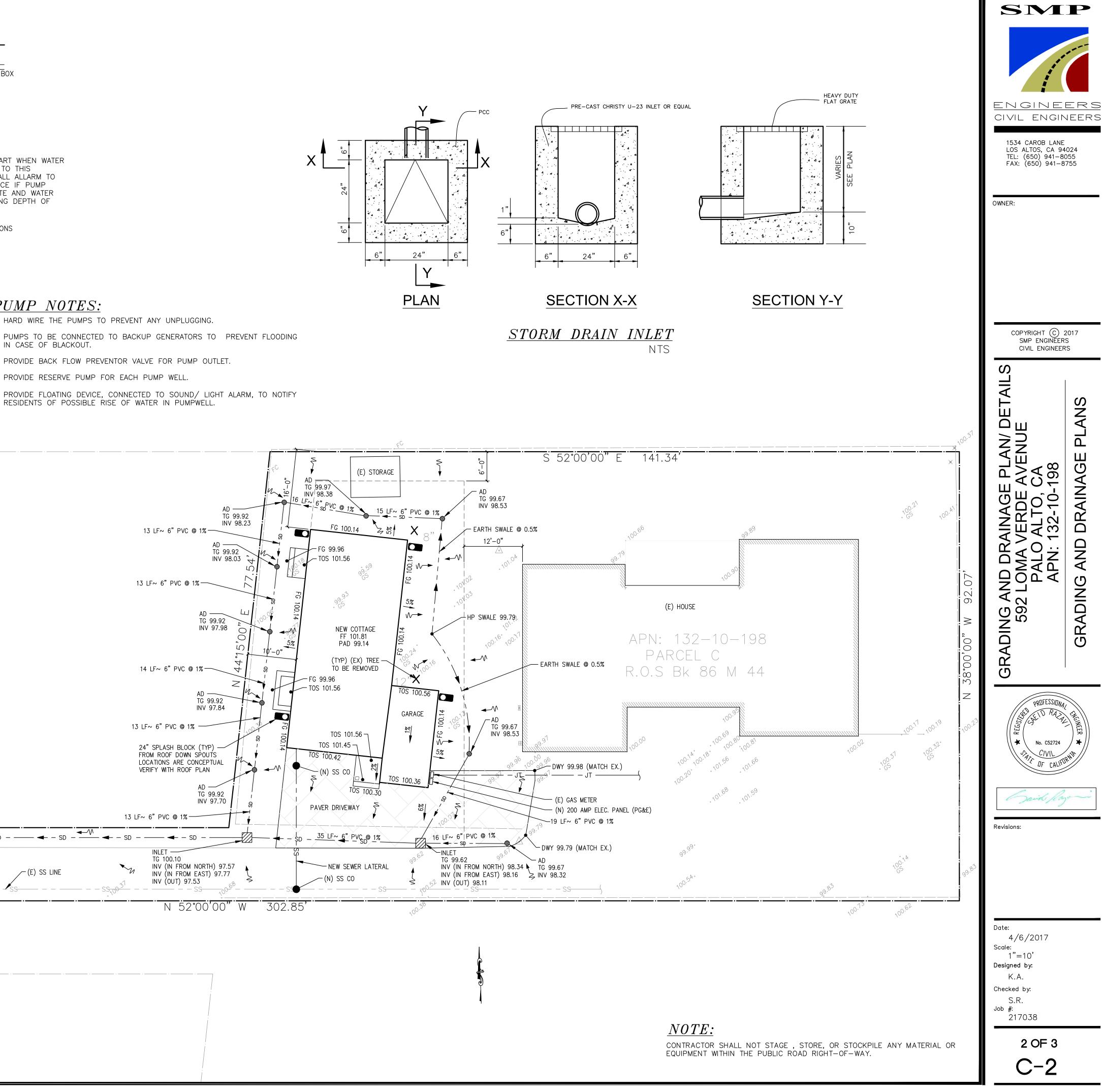
2. PUMPS TO BE CONNECTED TO BACKUP GENERATORS TO PREVENT FLOODING IN CASE OF BLACKOUT.

3. PROVIDE BACK FLOW PREVENTOR VALVE FOR PUMP OUTLET.

4. PROVIDE RESERVE PUMP FOR EACH PUMP WELL.

5. PROVIDE FLOATING DEVICE, CONNECTED TO SOUND/ LIGHT ALARM, TO NOTIFY





# **POLLUTION PREVENTION — IT'S PART OF THE PLAN** Construction projects are required to implement year-round stormwater BMPs, as they apply to your project.

Runoff from streets and other paved areas is a major source of pollution to San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep construction dirt, debris, and other pollutants out of storm drains and local creeks. Following these guidelines will ensure your compliance with City of Palo Alto Ordinance requirements.



# MATERIALS & WASTE MANAGEMENT

### **Non-Hazardous Materials**

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- □ Use (but don't overuse) reclaimed water for dust control.
- □ Ensure dust control water doesn't leave site or discharge to storm drains.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
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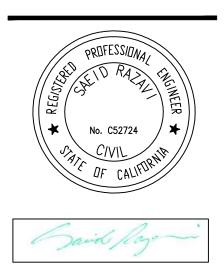
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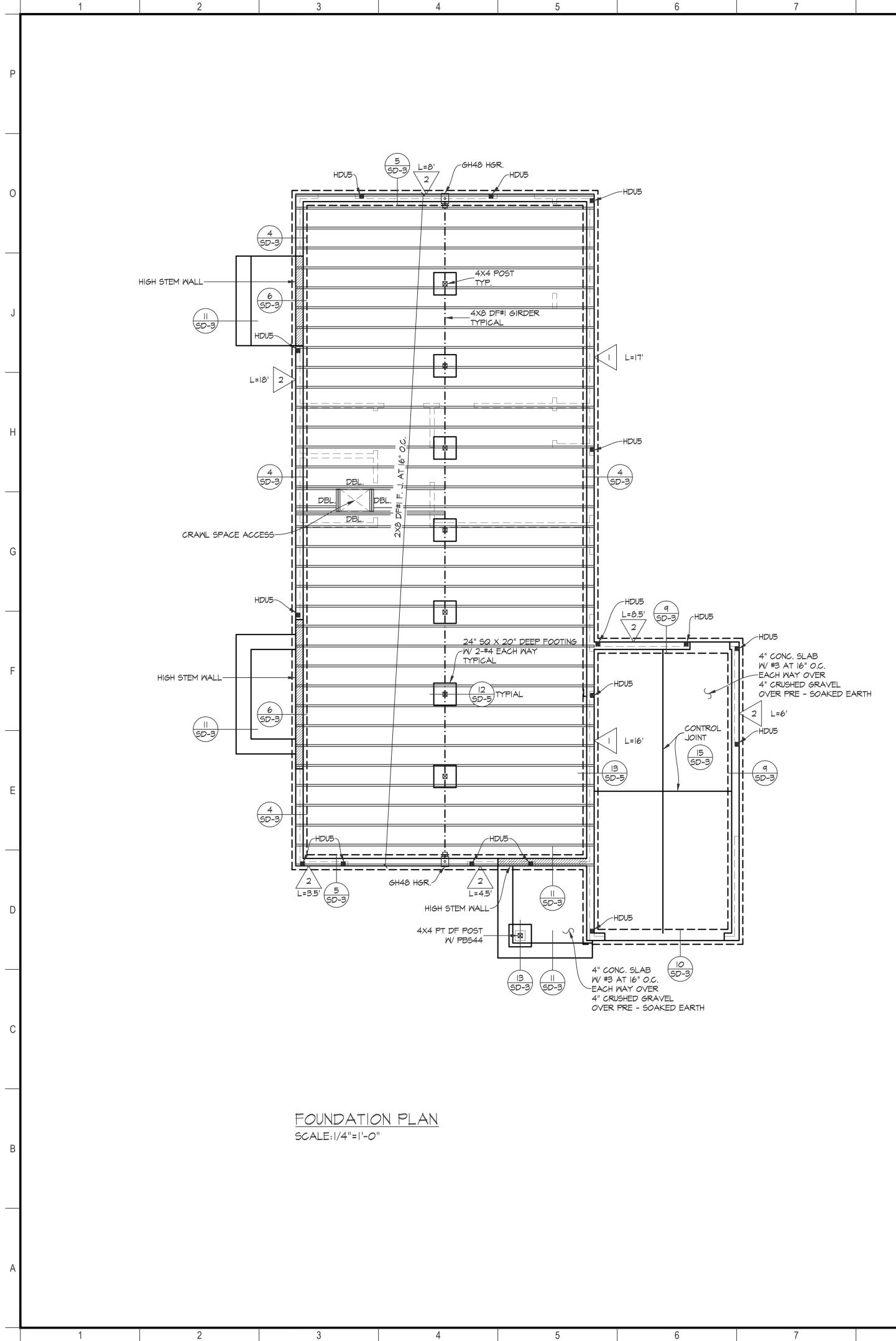


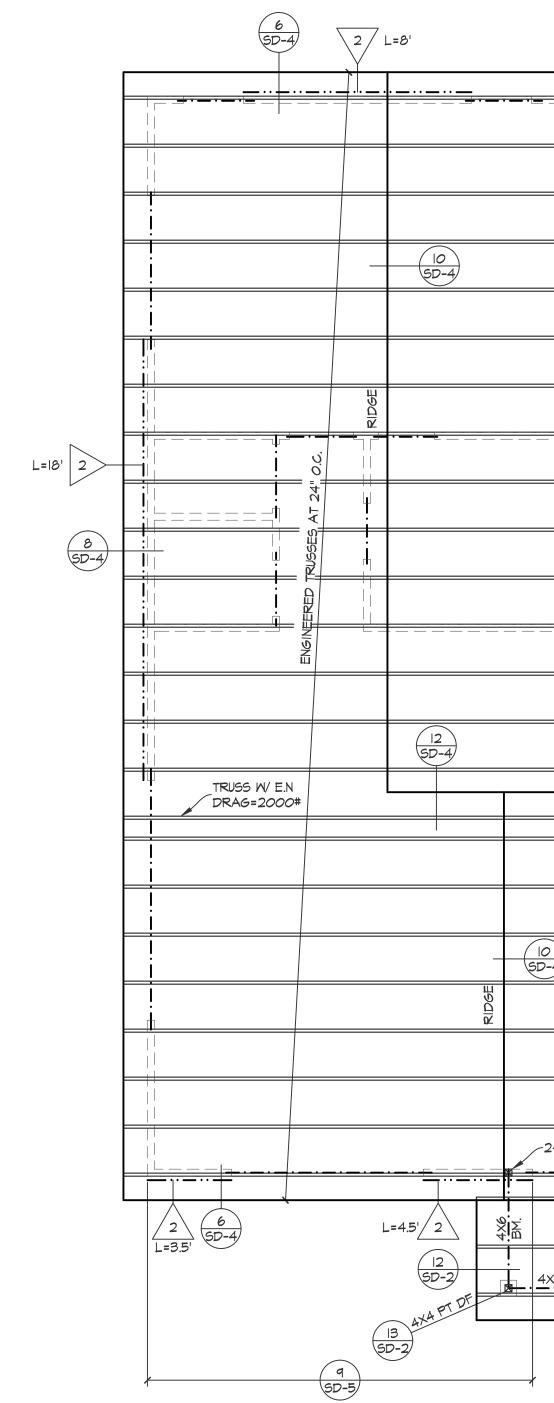
Revisions:

Date: 4/6/2017 Scale: NTS Designed by: K.A. Checked by: S.R. Job #: 217038

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#### ROOF FRAMING PLAN SCALE: |/4"=|'-0"

EXISTING CONDITIONS

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THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL CONDITIONS DIMENSIONS PRIOR TO START OF JOB AND/OR ORDERING MATERIALS. DISCREPANCIES FOUND SHALL BE BROUGHT TO THE ATTENTION OF THE DES PROFESSIONAL IMMEDIATELY.

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	$O"o.c. W/ 3" \times 3" \times 1/4"$ Washer Plate. See Plan For	STRAF	LENGTH C	LARIFICA	ATION EXAMPLE: CI	MST12/4	5"
	L ANCHOR BOLT REFERENCE AT SHEAR WALLS.			•	EE SIMPSON	_	
	DWNS SHOWN ON THIS PLAN TO BE CONNECTED FROM POST OR WALL TO FOOTING BELOW (UNO) AND TO BE INSTALLED		.06 FOR A. RED END LE		al INFO. At each end), see sin	1PSON -	
	ON CO. SPECIFICATIONS.	CATAL	.06 FOR TO	OTAL CU	T LENGTH REQUIREMEN D WITHIN THE END LEN	NTS.	
	OR FOOTING LOCATIONS NOT DIMENSIONED SHALL BE EQUALLY ETWEEN DIMENSIONED FOOTINGS AND/OR THE PERIMETER	SPECI	FIED, WITH S	SIMPSON	NIG NAILS, INCLUDING 14" END LENGTH NAILIN	,	
FOUNDATIO		U.N.O. 1	=0R CS16 S	STRAP, 4	5" END LENGTH NAILIN	NG,	
4. STITCH NAIL STA <b>GGERE</b> I	L ALL DOUBLE OR TRIPLE MEMBERS W/I6d @ 4" o.c., D (TYP.).	U.N.O F	OR CMSTC	16	?, 25" END LENGTH NAI		
5. SEE DETAIL	SHEETS FOR ADDITIONAL NOTES AND DETAILS.	STRAF	' LENGTH C	LARIFIC	ATION EXAMPLE: CMS	5TI2x9C	)"
LEGEND:			LENGTH O		- LARIFICATION FOR CS	516	
	(N) FOOTING				FOR CMSTCI6, U.N.O.		
		MICR	o-lam nai.	<u>Ling:</u>			
	(E) FOOTING				ROWS OF 16d COMMOI		
				BIDE (STA 10.c. (STA	AGG.) OR 2- ROMS OF AGG.)	= 1/2" 3/8 1	M.B.'S
	EAR MATERIAL AND ANCHOR BOLT SPACING IDENTIFIER, (SEE SHEA LL SCHEDULE ON SHEET SD-4).						
		88					
					ROWS OF 16d COMMOI AGG.) OR 2- ROWS OF		
	NDICATES LOCATION OF SIMPSON HDUS HOLDOWN (FULLY SCREWED		AT 24"	'o.c. (STA	66.)		
	V 14-SDS 1/4x2 1/2) W/ 2 -2x POST, UNO. (PRE-DRILL NAILS OR 5E 4x MIN. IF SPLITTING OCCURS) W/ SSTB24 AT (N) CONC. LOCATION.						
			ICAL DETA				DE
			1	OWN EDG			
		2			ER CORNER DETAIL		
		3					ŀ
IL OR LVL 1=	3/4" x 11 7/8" MICRO-LAM BEAM, MANUFACTURED BY TRUSS JOIST CO.U.N.O.	4			BALLOON FRAME WA		
SL 3	1/2" × 11 1/8" PARALLAM BEAM, MANUFACTURED BY TRUSS JOIST CO., U.N.O. 3/4" × 11 1/8" TIMBERSTRAND RIM, MANUFACTURED BY TRUSS JOIST CO., U.N.O.	5	TOP PLA	TE SPLIC	E CONNECTION		
		6	TIEDOWN	/ HOLDO	WN CONNECTION		/SD-5, 3
PROVIDE A	<u>5 NOTES</u> \ 2-2X POST BELOW ALL BEAM ENDS A LARGER POST IS					8	3/SD-5, 9
Specified.		7	ROOF FR				
	PLYWOOD W/ EDGE NAILING TO ALL FRIEZE BLOCKING AT	8			WALL INSTALLATION		
EXTERIOR V SHEAR WAL	NALLS AND RAFTERS IN LINE WITH EXTERIOR WALLS OR INTERIOR .LS.	9					
EXTEND ALL	. ROOF PLYWOOD BELOW CALIF. FRAMED AREAS AND EDGE NAIL				PLYWOOD INSTALLATIO		
	R PERIMETER WALL BLOCKING.	12					
	R MATERIAL WITH TWO ROWS OF EDGE NAILING TO ALL POSTS	13	STRAP TO	O BEAM	DETAIL		
	TO HOLDOWN ANCHOR OF STRAPS	4	BEAM TO	POST C	CONNECTION	4	1/SD-2, 1
	STS, PROVIDE A POST OF IDENTICAL SIZE ( UNLESS A LARGER IS IN FLOOR AND WALL BELOW.						
6. LOCATE AL	L FLUSH BEAMS DIRECTLY BELOW BEARING WALL OR POST IN	HOL	DOWN NOT	<u>ES:</u>			
FLOOR ABC	0VE.		L STRAP : IEAR MATE		CHORS TO BE INSTALI	LED OV	ER PLYV
	R PLYMOOD WITH EDGE NAILING TO ALL FLUSH BEAMS. JOIST OR		LL DBL. 2x		AT HOLDOWN, 'HDU5'		
BLOCKING I	IN LINE WITH OR OVER EXTERIOR WALLS OR SHEAR WALLS.	τc	LL DBL. 2x D BE NAILEI	4 Posts D Toget	5 AT HOLDOWN, 'HDU5' THER WITH 16d AT 4"0. 2-OUT' STUDS ARE USE	c., STAC	GERED.
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<u>NOTE:</u>

DRAWINGS.

- ALL 'PA' OR STRAP TYPE ANCHORS TO BE INSTALLED OVER PLYND. SHEAR MATERIAL
- . ALL DBL. 2x4 POSTS AT HOLDOWN, 'HT', 'PA' OR STRAP LOCATIONS
- TO BE NAILED TOGETHER WITH 16d AT 4"0.C., STAGGERED 3. IF 2x SHIMS OR 'PAD-OUT' STUDS ARE USED BETWEEN THE HOLDOWN
- ANCHOR AND THE POST SPECIFIED, ATTACH SHIMS TO THE SPECIFIED POST WITH A MINIMUM OF 16d AT 4"o.c., STAGGERED.

NEW FOOTING SHALL MATCH EXISTING PRIOR TO THE CONSTRUCTION OF THE NEW FOUNDATION, VERIFICATION IS REQUIRED TO SHOW THAT THE NEW FOUNDATION SYSTEM MATCHES THE EXISTING (E) FOOTINGS. EXCAVATE AS REQUIRED FOR THE FIELD INSPECTOR TO VERIFY THE TYPE OF EXISTING FOUNDATION SYSTEM. PIER AND GRADE BEAM FOUNDATION SYSTEM SHALL BE AS PER THE LATEST CALIFORNIA BUILDING CODE AND SHALL BE DESIGNED BY A CIVIL, OR STRUCTURAL ENGINEER AND APPROVED BY THE \_\_\_\_\_\_ BUILDING DIVISION PRIOR TO COMMENCING OF CONSTRUCTION. PIER DEPTH SHALL BE MINIMUM AS EXISTING.

SHOP	DRAWINGS:

SHOP DRAWINGS ARE AN AID FOR FIELD PLACEMENT AND ARE SUPERSEDED BY THE STRUCTURAL DRAWINGS. ANY REVIEW OF SHOP DRAWINGS BY THIS OFFICE IS ONLY FOR GENERAL CONFORMANCE TO THE STRUCTURAL REQUIREMENTS AND IN NO WAY GUARANTEES THE ACCURACY OR COMPLETENESS OF INFORMATION THEREON. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSURE ALL CONSTRUCTION IS IN FULL COMPLIANCE WITH THE LATEST SET OF STRUCTURAL DRAWINGS.

#### <u>LUMBER</u>

I. PLATES, STUDS, JOISTS AND BEAMS. (UNO)

MEMBERS	<u>GRADE OF WOOD (U.N.O.)</u>

A. 2x OR 3x MUDSILLS	P.T.D.F.
B. 2x OR 4x	D.F. NO. 2
C. 6x AND LARGER	D.F. NO.
D. ALL STUDS	D.F. NO.2
E. BLKG. & SOLE PLATES	D.F. CONSTR. GRADE
F. GLU LAM BEAMS	24F-V4, 24F-V8 AT CANTILEVER
G. TOP PLATES	D.F. CONSTR. GRADE

NOTE: ALL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19% AT TIME OF INSTALLATION.

#### 2. PLYWOOD

LOCATIO	n gra	DING N	AILING (U.N.O.)
ROOF	- 1/2" CDX	APA (32/16)	8d @ 6" EDGE, I2" FIELD
FLOOR	- 3/4" T\$G CDX	APA (32/16)	IOd @ 6" EDGE, IO" FIELD
<u>NOTE:</u> ALL LEGIE		LYWOOD SHEATH	HING AND LUMBER SHALL BE

#### <u>Mood Frame</u>

- ALL WOOD BEARING ON CONCRETE OR MASONRY SHALL BE PRESSURE
- TREATED FIR. 2. ALL METAL CONNECTORS SHALL BE SIMPSON STRONG-TIE CONNECTORS. THE NAILS FOR THESE CONNECTORS SHALL BE JOIST HANGER NAILS AS MANUFACTURED BY THE SIMPSON CO.
- 3. PROVIDE FIRE STOPS AT ALL INTERSECTIONS OF STUD WALLS AT FLOOR, CEILING AND ROOF. FIRE STOPS SHALL BE 2x NOMINAL THICKNESS OF WOOD AND SHALL BE THE FULL WITH OF THE ENCLOSED SPACE. PLACE FIRE STOPS AT A MAXIMUM SPACING OF 10'-0" IN EACH DIRECTION AND AT THE SAME LINES AS FIRE STOPS IN ADJACENT STUD WALLS.
- 4. TOP PLATES OF ALL STUD WALLS SHALL BE 2 PIECES THE SAME STUD SIZES. SPLICES TO LAP 4'-O" MINIMUM AND BE NAILED PER THE DETAILS.
- 5. BOLT HOLES IN WOOD SHALL BE 1/32" TO 1/16" LARGER THAN THE NORMAL BOLT DIAMETER. ALL BOLTS SHALL HAVE STANDARD OUT WASHER UNDER HEAD AND NUT UNLESS NOTED OTHERWISE.
- 6. ALL BOLTS SHALL BE RETIGHTENED PRIOR TO THE APPLICATION OF SHEATHING PLASTER, ETC.
- 7. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY DETAILED
- 8. PROVIDE 2x SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL SUPPORTS BLOCKING SHALL BE ONE PIECE AND THE FULL DEPTH OF THE JOIST RAFTER.
- 9. CROSS BRIDGING OR SOLID BLOCKING SHALL BE PROVIDED AT 8'-O" O.C. MAXIMUM FOR ALL FLOOR JOISTS MORE THAN 12" DEEP AND AT 10'-0" O.C. MAXIMUM FOR ALL RAFTERS MORE THAN 8" DEEP.
- IO. PROVIDE DOUBLE JOISTS UNDER PARTITIONS WHICH ARE PARALLEL TO THE FLOOR JOISTS.

Plymood Edge Nailing

POUNDS PER SQ. INCH

POUNDS PER SQ. FOOT

PRESSURE TREATED

PRESSURE TREATED

TOP OF BEAM., ETC.

TONGUE & GROOVE

UNIFORM BUILDING

UNLESS OTHERWISE

MELDED WIRE FABRIC

POUNDS PER LINEAL FOOT

PARALLAM STRAND LUMBER

DEFORMED REINFORCING BAR

SHEAR WALL SCHEDULE

SEE ARCHITECTURAL DRAWINGS

ABBREV	IATIONS		
A.B.	ANCHOR BOLT		MST ABOVE
ABV.	ABOVE		MACHINE BOLT
BD	BOARD	MFR.	MANUFACTURER
BM.	BEAM	MAX.	MAXIMUM
BLW.		MIN.	MINIMUM
BLK.		MTL.	METAL New
BLK'G	BLOCK OR BLOCKING	(N) NTG	NOT TO SCALE
B.N.	BOUNDRY NAILING	N.T.S	ON CENTER
C.B.C.	CALIFORNIA BUILDING CODE	O.F.	OUTSIDE FACE
CLG.	CEILING		OPPOSITE HAND
C.B.	CEILING BEAM	P.A.	POST ABOVE
00	CENTER TO CENTER,	PL	PLATE
$\sim$	ON CENTER	PLY.	Plywood
	COLUMN CONCRETE		Plywood
	CONTINUOUS	P.E.N.	PLYWOOD EDGE N
	DEAD LOAD	PLF	POUNDS PER LINE
	DIAMETER	P.S.I.	POUNDS PER SQ.
D.F.	DOUGLAS FIR	P.S.F.	POUNDS PER SQ. 1
D.S.	DOUBLE STUD	PSL	PARALLAM STRAM
D.S. EA.	EACH	P.T.	PRESSURE TREAT
	Each May	P.T.D.F	PRESSURE TREAT
	EXISTING		DOUGLAS FIR
E.N.	EDGE NAILING	DETD	RAFTER
EXT.	EXTERIOR		
F.O.S.			
F.O.C. F.N.	FACE OF CONCRETE FIELD NAILING	S.A.D. S.N.S	
FIN.	FINISH	SHTG.	
FHMS	FLAT HEAD WOOD SCREW	SHT.	SHEET
FLR.	FLOOR	SPECS.	
F.C.B.	FLUSH CEILING BEAM	STD.	STANDARD
FTG.	FOOTING	STL.	STEEL
GYP.		SQ.	SQUARE
GLB	GLUED, PRESSURE	THD.	
H.F.	LAMINATED BEAM Hem FIR		TOP OF BEAM., ET
HGR.	HANGER	ΤŧG	
HDR	HEADER	T ∉ B	
H.D.	HOLDOWN	TL	
HORIZ.	HORIZONTAL	TYP.	TYPICAL UNIFORM BUILDING
H.D.G.	HOT DIPPED GALVANIZED	U.B.C.	CODE
ICBO	INTERNATIONAL CONF.	U.N.O.	UNLESS NOTED
	OF BLDG. OFFICIALS	U.N.U.	OTHERWISE
INT.	INTERIOR	U.O.N.	UNLESS OTHERWIS
JST.	JOIST	0.0.1	NOTED
LVL L.S.	LAMINATED VENEER LUMBER	VERT.	VERTICAL
L.9. LL	lag screw Live load	<b>W</b> /	WITH
<b>к.</b> в.	KICK BRACE	W.W.F.	WELDED WIRE FAI
K.P.	KING POST OR KICKER POST		

#### FOUNDATIONS

I. ALL EXISTING FILL SOIL AND DISTURBED NATURAL SOILS ARE TO BE EXCAVATED AND REPLACED WITH PROPERLY COMPACTED FILL. ALL FILLING, BACKFILLING, RECOMPACTION, ETC. IS TO BE ACCOMPLISHED ONLY UNDER THE SUPERVISION OF A SOILS ENGINEER. COMPACTED FILL SHALL BE 95% DENSITY.

- 2. FOOTINGS ARE TO BE CARRIED A MINIMUM OF 18" INTO FIRM UNDISTURBED NATURAL SOIL OR APPROVED COMPACTED FILL.
- 3. DESIGN BEARING PRESSURE IS 1500 PSF WITH A 33% INCREASE FOR SEISMIC OR WIND LOADING.

4. RELATIVELY NON-EXPANSIVE FILL SHOULD BE USED IN BACKFILLING BEHIND WALLS ALL WALLS SHALL BE ADEQUATELY SHORED DURING THE BACKFILL OPERATION.

#### CONCRETE:

- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- 2. AGGREGATES SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C33 ( MAXIMUM AGGREGATE SIZE SHALL BE 3/4" )
- 3. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE IV. ( SULFIDE RESISTANT ).
- 4. THE FOLLOWING MINIMUM CLEAR DISTANCES BETWEEN REINFORCING STEEL AND FACE OF CONCRETE SHALL BE MAINTAINED UNLESS NOTED OTHERWISE POURED AGAINST FORMS 2"

POURED AGAINST EARTH 3"

- 5. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. PIPES OF DUCTS EXCEEDING ONE-THIRD THE SLAB OR FOOTING THICKNESS SHALL BE PLACE IN THE STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAINED.
- 6. DOWELS, ANCHOR BOLTS AND OTHER EMBEDDED ITEMS ARE TO BE SECURED IN PLACE BEFORE CONCRETE IS POURED.
- REFER TO ARCHITECTURAL DRAWINGS FOR REVEALS, AREAS OF TEXTURED CONCRETE OR SPECIAL FINISHES, ITEMS REQUIRED TO BE CAST INTO
- CONCRETE, CURBS AND SLAB DEPRESSIONS. 8. MINIMUM CEMENT CONTENT SHALL BE 5 SACKS PER CUBIC YARD FOR 2500 PSI CONCRETE.
- 9. MAXIMUM SLUMP SHALL BE 4".
- IO. OPTIONAL COLD JOINTS MAY BE USED WHERE SHOWN, COLD JOINT EDGES SHALL BE CLEAN, FREE OF EXTRANEOUS AND INTENTIONALLY ROUGHENED. REINFORCING STEEL:
- REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 40 FOR SIZES #4 AND SMALLER AND <u>GRADE 60</u> FOR SIZES #5 AND LARGER.
- 2. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWA DI2-I USING PROPER LOW HYDROGEN ELECTRODES. ALL BARS TO BE WELDED SHALL CONFORM TO ASTM ATO6.
- 3. WELDED FABRIC (MESH, WWF) SHALL CONFORM TO THE LATEST REVISED ASTM A185. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A85, YIELD STRENGTH 60 KSI.
- 4. ALL BARS IN CONCRETE SHALL BE LAPPED A MINIMUM OF 48 BARS DIAMETERS ( 2'-O" MIN. ) AT ALL SPLICES UNLESS NOTED OTHERWISE.
- 5. SPLICES OF HORIZONTAL REBAR IN FOOTING SHALL BE STAGGERED 4'-O" MINIMUM
- 6. ALL BENDING OF REINFORCING STEEL SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE.
- 7. REINFORCING SHALL BE PLACED AND SUPPORTED IN A TRUE LINE AS SHOWN
- <u>FLOOR I-JOIST</u>
- FLOOR JOISTS ARE TO BE DESIGNED FOR L/480 (DL & LL) MAXIMUM DEFLECTION CRITERIA

#### MICROLAM BEAMS:

MICRO LAM (ML OR LVL) BEAMS ARE TO BE THE S
AND TO BE MANUFACTURED BY TRUSS JOIST CORP
HAVE THE FOLLOWING ALLOWABLE DESIGN STRESS
E = 1,900,000 PSI
Fb = 2,600 PSI
Fy = 285 PSI

#### PARALLAM BEAMS:

PARALLAM (PSL) BEAMS ARE TO BE THE SIZE SHOWN ON PLANS, AND TO BE MANUFACTURED BY TRUSS JOIST CORP. PARALLAM BEAMS SHALL HAVE THE FOLLOWING ALLOWABLE DESIGN STRESSES. E = 2,000,000 PSI

#### Fb = 2,900 PSI Fy = 290 PSI

#### TIMBERSTRAND:

TIMBERSTRAND (TS) MEMBERS ARE TO BE THE SIZE SHOWN ON PLANS AND TO BE MANUFACTURED BY TRUSS JOIST CORP.

#### <u>GLB NOTES:</u>

- ALL FABRICATION AND WORKMANSHIP SHALL CONFORM TO THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR STRUCTURAL GLUED LAMINATED DOUGLAS FIR (COAST REGION) LUMBER BY THE WEST COAST LUMBER MAN'S ASSOCIATION AND THE CURRENT EDITION OF TIMBER CONSTRUCTION.
- 2. ALL GLUED LAMINATED MEMBERS SHALL BE DOUGLAS FIR, COMBINATION 24F-V4 (U.N.O.) OR 24F-V8 WITH WATERPROOF RESORCINOL OR PHENOL RESORCINOL GLUE CONFORMING TO THE FEDERAL SPECIFICATIONS MIL-A-397. (USE 24F-V8 AT CANTILEVER CONDITION).
- 3. FINISH OF THE MEMBERS SHALL BE INDUSTRIAL APPEARANCE GRADE IN CONFORMANCE WITH THE STANDARD APPEARANCE GRADES OF THE A.I.T.C.
- 4. A CERTIFICATE OF INSPECTION FOR EACH GLU-LAM BEAM FROM AN APPROVED TESTING AGENCY SHALL BE SUBMITTED TO AND APPROVED BY THE LOCAL BUILDING DEPT. AND BY THE ENGINEER PRIOR TO ERECTION.

#### EPOXY AND ANCHORS: (ICC-ES ESR 2508)

- EPOXY GROUT USED FOR THE SETTING OR DEFORMED REINFORCING BARS SHALL BE SIMPSON 'SET-XP' EPOXY SURFACE OF EXISTING CONCRETE SHALL BE FREE FROM DUST OR DEBRIS PRIOR TO INJECTION EPOXY PRODUCT TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 2. EPOXY USED FOR THE SETTING OF ALL-THREAD ROD BOLTS SHALL BE SIMPSON 'SET-XP' EPOXY. EPOXY SHALL BE INSTALLED WITH MANUFACTURER'S RECOMMENDATIONS AND PROVIDE SPECIAL INSPECTION BY CERTIFIED TESTING AGENCY.

PROJECT DATA:

LOADING		
	FLOOR	
DEAD LOAD	16 psf	
LIVE LOAD	40 psf	
SEISMIC COEFFICIENT		
S <sub>1</sub> = 0.655	$T_L = 12$	
$S_{p_1} = 0.655$	$C_{t} = 0.02$	
S <sub>D5</sub> = 1.000		
SEISMIC DESIGN CATEGORY:	D	
WIND LOAD COEFFICIENT		
WIND SPEED 110 MPH	WIND EXPOSURE: B	
Ka = 0.85	K <sub>z</sub> = 0.70	
	$K_{zt} = 1$	

D.C.

ATIONS HOLDOWN

SPECIFIED

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RAL DRAWINGS
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E MOUNT HANGER
'LUS'
HUII (MAX.)
HGUS412
HGUS5.50/12
HGUST.25/12

#### HEARWALLS

	5
HANGERS	
SIMPSON TYPE	
U24	
U26	
U28	
U210	
U210	
	ī.
HANGERS	
SIMPSON TYPE	
U24	
U26	
026 U28	

U210

8. ALL REINFORCING SHALL BE CLEAN AND FREE OF EXTRANEOUS MATERIAL.

SIZE SHOWN ON THE PLANS P. MICRO LAM BEAMS SHALL SES

<b>ROOF</b> 16 psf 20 psf	
F, = 1.0 F, = 1.5	
6C <sub>el</sub> = 0.18	

#### GENERAL NOTES:

- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE 2016 BUILDING CODE.
- 2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- 3. ANY DEVIATIONS FROM THE PLANS. WHICH ARE NECESSITATED BY FIELD CONDITIONS OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLAN, SHALL BE CALLED TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO CONTINUING CONSTRUCTION. ALL WORK IS TO BE COORDINATED SO THAT COOPERATION BETWEEN THE TRADES, WHERE REQUIRED, IS ACCOMPLISHED.
- 4. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, ELEVATIONS SECTIONS AND DETAILS.
- 5. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 6. MATERIAL NOTES AND SPECIFICATIONS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THE PROJECT SPECIFICATIONS.
- 7. VERIFY ALL OPENINGS THROUGH CONSTRUCTION WITH HEATING AND VENTILATING CONTRACTOR PLUMBING CONTRACTOR AND ELECTRICAL CONTRACTOR FOR SIZE AND LOCATION, PRIOR TO COMMENCING CONSTRUCTION.
- 8. SEE ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF ALL DOOR AND WINDOW OPENINGS, LOCATION OF ALL NON-BEARING PARTITIONS, CONCRETE CURBS, FLOOR AND ROOF SLOPES, DRAINS, ELEVATIONS, LOCATIONS OF ALL STAIRWAYS, (IF ANY), MISCELLANEOUS HANDRAILS, LADDERS. HANGERS, STEEL GRATING, LOCATION OF ALL CONCRETE INSERTS, CLIPS, GROOVES, GROUNDS AND VENEER ANCHORS, LOCATION AND DETAIL OF MISCELLANEOUS YARDWORK INCLUDING WALKS, CURBS, DRIVEWAYS, TUNNELS AND FINISHED GRADING PLANS.
- 9. NO OPENINGS, POCKETS, ETC. SHALL BE PLACED IN SLABS DECKS, BEAMS, JOISTS, WALLS, COLUMNS, ETC. UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS, NOTIFY THE STRUCTURAL ENGINEER WHEN (MECH., ELECT.) DRAWINGS SHOW OPENINGS, POCKETS, ETC., THAT ARE NOT LIKEWISE SHOWN ON THE STRUCTURAL DRAWINGS.
- IO. CONTRACTOR SHALL REPAIR OR REPLACE ALL DAMAGED FINISH MATERIAL AND/OR STRUCTURAL MEMBERS AS REQUIRED AND AS CONFIRMED BY THE BUILDING INSPECTOR AND STRUCTURAL ENGINEER.
- II. CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING DURING CONSTRUCTION.
- 12. FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED SIMILAR TO TYPICAL DETAILS FOR THE RESPECTIVE MATERIAL.
- 13. THE CONTRACTOR AND/OR SUB-CONTRACTORS WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL STATE, OR LOCAL BUILDING CODES.
- 14. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY, EQUIVALENT SUBSTITUTIONS WILL BE PERMITTED.
- 15. TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS GIVEN.

#### GENERAL CONSTRUCTION

- RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER RIDGES, VALLEYS AND HIPS. ALL RIDGE BOARDS, MAIN VALLEY AND HIP RAFTERS SHALL BE AT LEAST 2 IN. THICK (NOMINAL). IN NO CASE SHALL THE DEPTH BE LESS THAN THE CUT OF THE END OF THE RAFTER (U.N.O.)
- 2. WHERE APPLICABLE, RAFTERS SHALL BE NAILED TO ADJACENT PARALLEL CEILING JOIST TO FORM A CONTINUOUS THE BETWEEN EXTERIOR WALLS, (U.N.O.) WHERE CEILING JOISTS ARE NOT PARALLEL, RAFTERS, SHALL BE TIED BY A I X 4 (MIN.) CROSS TIE. THE CROSS TIES SHALL BE SPACED NOT MORE THAN 4'-O" O.C.
- 3. UNLESS SUPPORTED LATERALLY BY ADEQUATE FRAMING, THE MAXIMUM ALLOWABLE HEIGHT SHALL BE 14'-O" FOR 2 X 4 AND 3 X 4 STUD WALLS AND 20'-0" FOR A 2 X 6 STUD WALL (U.N.O.).
- 4. JOISTS SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING OR END HANGERS AT EACH END AND AT EACH SUPPORT. SOLID BLOCKING SHALL NOT BE LESS THAN 2" THICK (NOMINAL) AND THE FULL DEPTH OF THE JOISTS.
- 5. THE ENDS OF JOISTS, BEAMS, AND GIRDERS SHALL HAVE AT LEAST | 1/2" OF BEARING ON WOOD OR METAL AND 3" OF BEARING ON CONCRETE OF MASONRY, (U.N.O.).
- 6. WHEN BOLTS ARE IN USE A WASHER NOT LESS THAN A STANDARD CUT WASHER OR A METAL PLATE OR STRAP IN LIEU THEREOF, SHALL BE BETWEEN THE WOOD AND THE BOLT HEAD AND BETWEEN THE WOOD AND THE NUT
- 7. MACHINE BOLTS AND ANCHOR BOLTS SHALL CONFORM TO ASTM A307 (U.N.O.)
- 8. ALL BUILDINGS SHALL BE GRADED SO AS TO PROVIDE 5% POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- 9. WOOD JOISTS AND FLOORS CLOSER THAN 18" OR WOOD GIRDERS AND SUPPORTS CLOSER THAN 12" TO THE GROUND SHALL BE PRESSURE TREATED
- IO. CONTRACTOR SHALL SUBMIT A CERTIFICATION OF CONFORMANCE FOR ALL GLUED-LAMINATED BEAMS TO BUILDING INSPECTION DEPT., PRIOR TO ERECTION.
- II. PURLINS SHALL BE 2 X 6 OR THE SAME SIZE AS RAFTERS, WHICHEVER IS GREATER, (U.N.O.).
- 12. PROVIDE FIRE BLOCKING AT FLOORS, CEILING, COVES AND MID-HEIGHT OF WALLS OVER IO'-O" IN HEIGHT.

<u>NAILING</u>

<u>NAILING (U.N.O.) ON PLANS</u> <u>CONNECTION</u> JOIST TO SILL OR GIRDER TOENAIL 3-80 BRIDGING TO JOIST, TOENAIL EACH END. 2-8d 3. I" X 6" SUBFLR. OR LESS TO EA. JOISTS, FACE NAIL 2-8d 4. WINDER THAN I" X 6" SUBFLR. TO EA. JST. FACE NAIL 3-8d 5. 2" SUBFLR. TO JOIST OF GIRDER BLIND AND FACE NAIL 2-16d 6. SOLE PLATE TO JOIST OR BLD'G ..., FACE NAIL. 16d @ 16" O.C. TOP PLATE TO STUD, END NAIL 2-16d 8. STUD TO SOLE PLATE 4-8d TOENAIL ( 2-16d, END NAIL 9. DOUBLE STUDS, FACE NAIL 16d @ 24" O.C. IO. DOUBLE TOP PLATES, FACE NAIL 16D @ 16" O.C. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL 4-16d 12. CEILING JOIST TO PLATE, TOENAIL 3-8d 13. CONTINUOUS HEADER TO STUD, TOENAIL 4-8d 14. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL. 3-16d 15. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL 3-16d 16. RAFTER TO TRUSSES TO PLATE, TOENAIL 3-16d 17. I" X 8" SHEATHING OR LESS TO EA. BEARING., FACE NAIL. 2-8D 18. WIDER THAN I" X &" SHEATHING TO EA. BEARING, FACE NAIL 3-8d 19. BUILT-UP CORNER STUDS. 16d @ 24" O.C. CORROSION PROTECTION NOTE: CORROSION PROTECTION FOR NAILS AND OTHER HARDWARE ATTACHED TO PRESSURE TREATED LUMBER. OF PARTICULAR CONCERN IS THE SHEAR WALL

EDGE NAILING INTO A PRESSURE-TREATED SILL PLATE. (NOTE: AS OF JAN.

ARE MORE CORROSIVE THAN THE TRADITIONAL CCA-C PROCESS.) USE

, 2004, MOST PRESSURE TREATED LUMBER WILL UTILIZE NEW CHEMICALS THAT

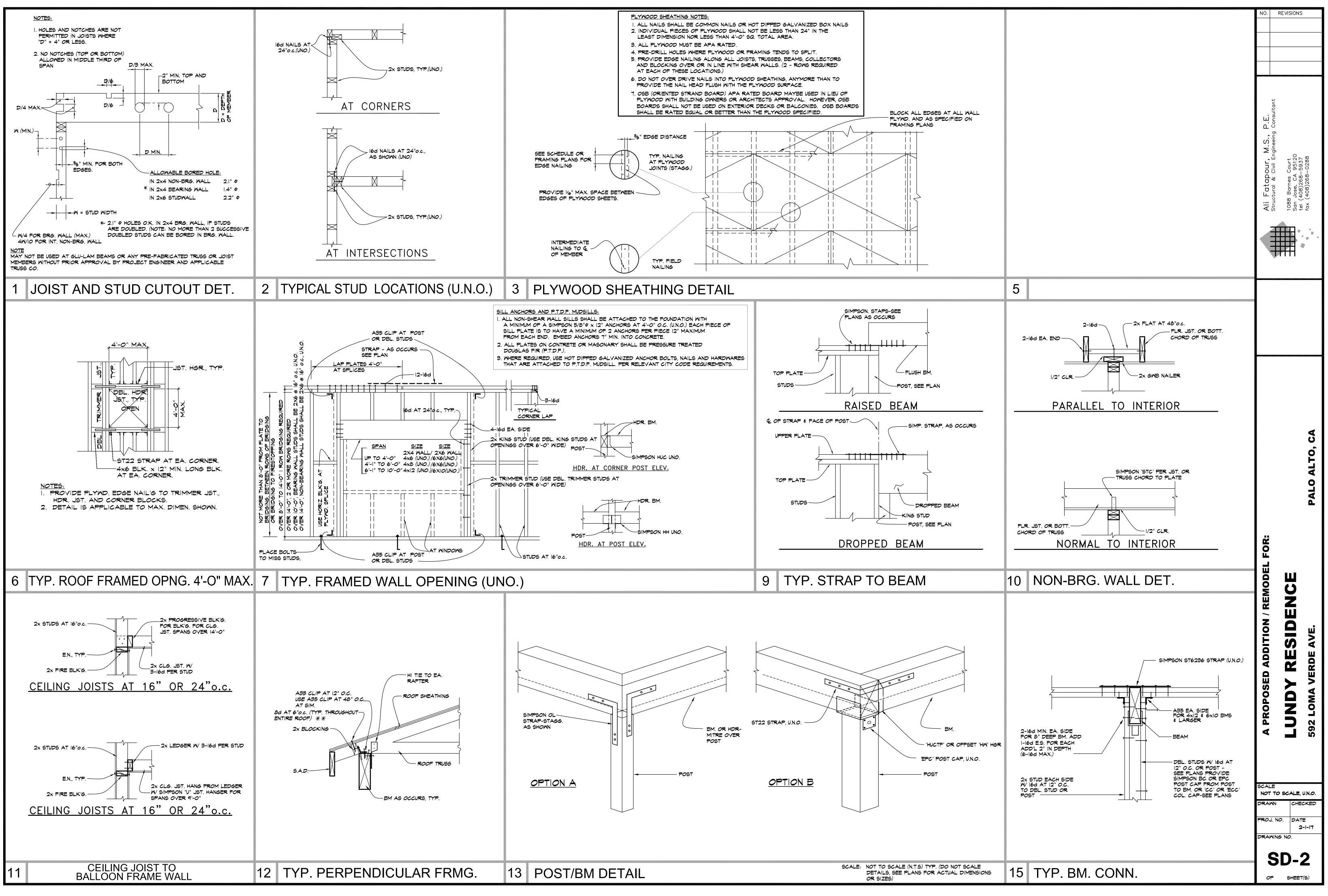
GALVANIZED PRODUCTS, NOTE THAT THEY ARE TO BE HOT DIPPED GALVANIZED

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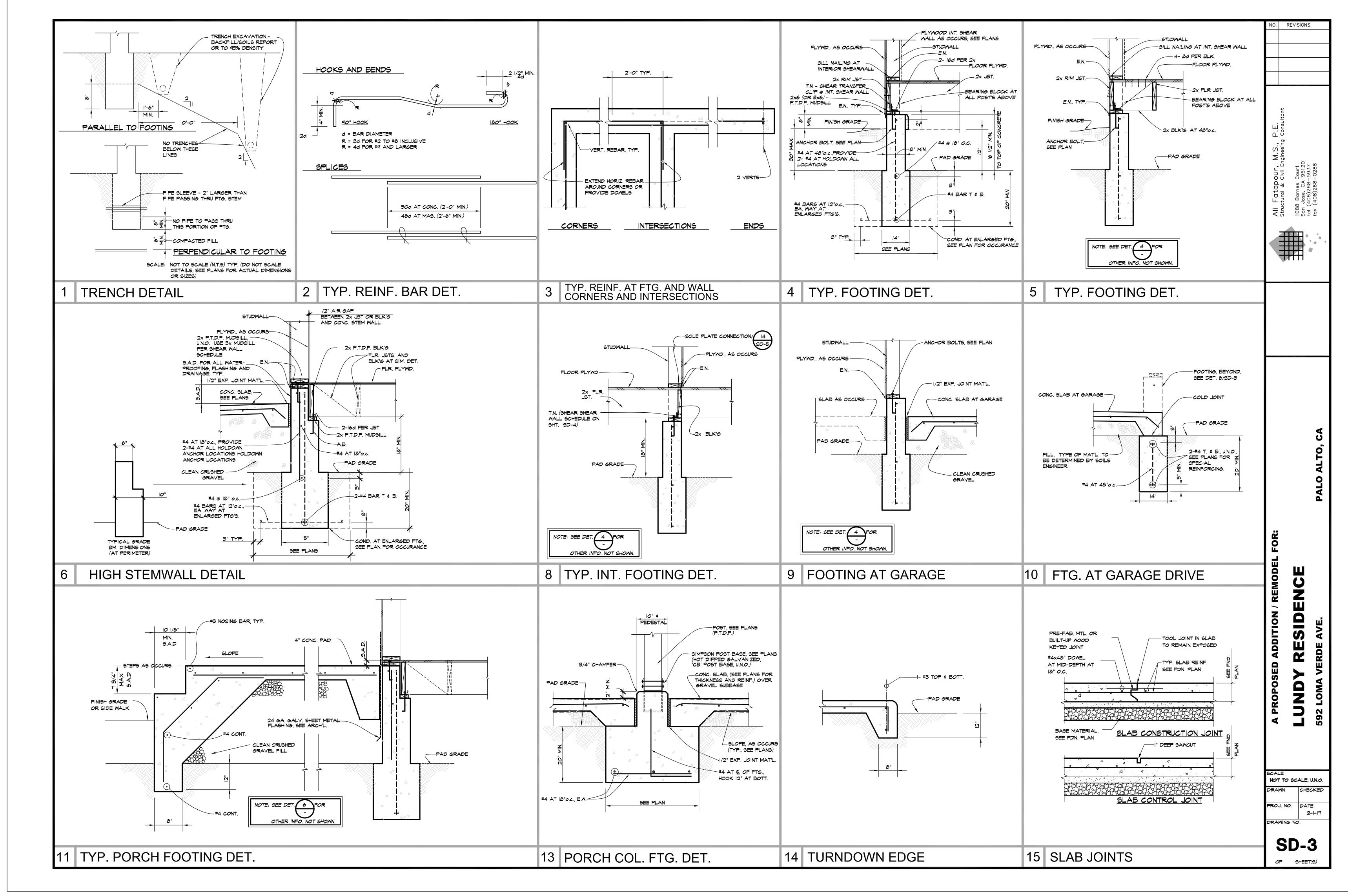
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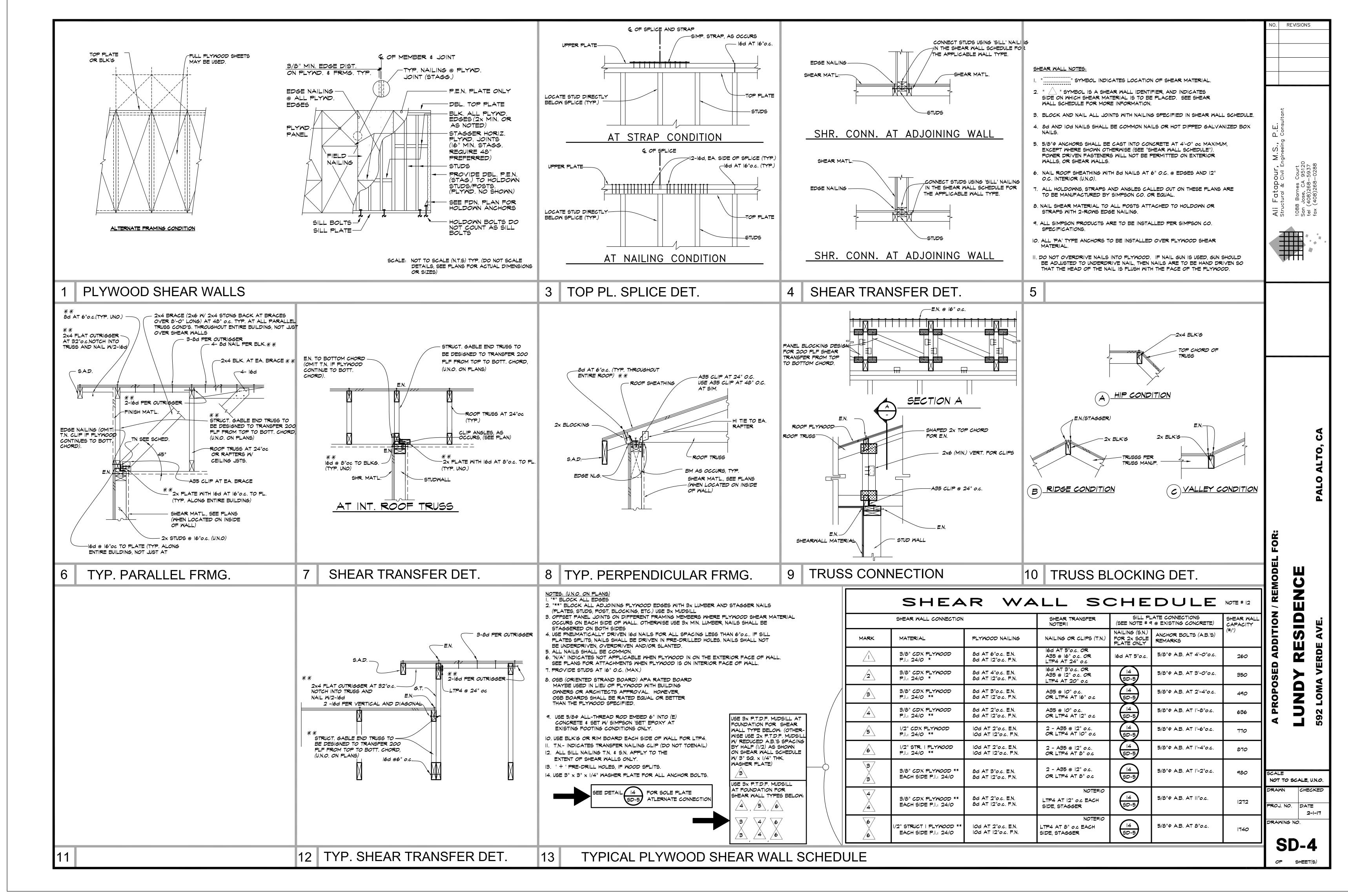
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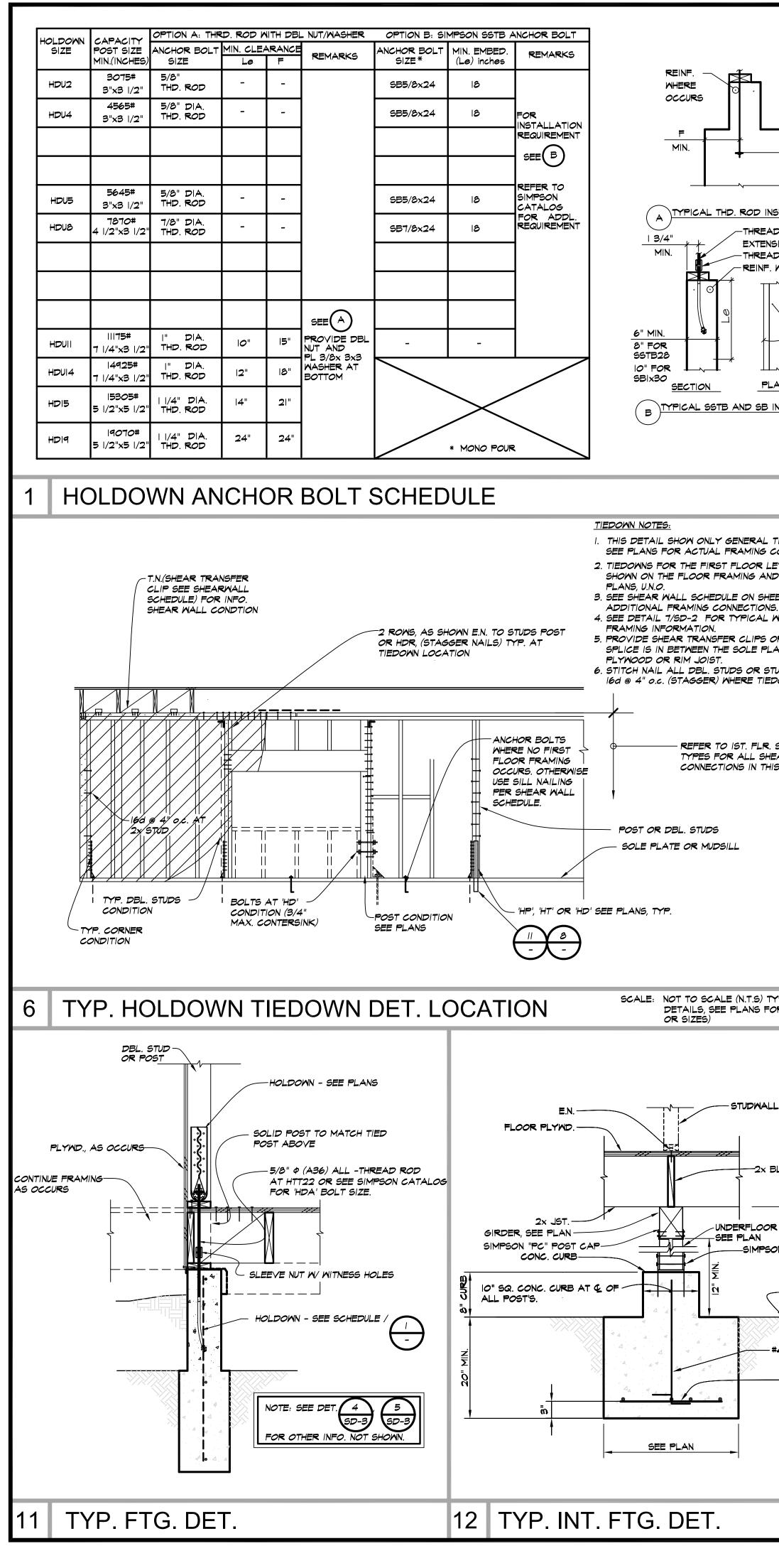
OF SHEET(S)



FRMG.	13	POST/BM DETAIL







		_		
INSTALLATION ADED ROD INSION ADED COUPLER F. WHERE OCCURS	TIEDOWN TO POST AND ANCHOR BOLT TO FND. POVIDE THD. ROD AND 2" COUPLER WHERE CRIPPLE WALLS OCCUR BELOW 1 //2" CLR. MIN. FULL HEIGHT POST OCCUR BELOW 1 //2" CLR. MIN. FULL HEIGHT OF POST, TYP. FACE OF STUD VARIES W/ THICKNESS MANUF. SPECS. OF FRAMINS COUPLER WHERE CRIPPLE WALLS OF FRAMINS COUPLER CRIPPLE WALLS COUPLER WHERE CRIPPLE WALLS COUPLER WHERE CRIPPLE WALLS OCCUR BELOW 1 //2" CLR. MIN. FULL HEIGHT OF POST, TYP. CLIPPLE WALLS COUPLER CRIPPLE WALLS COUPLER CRIPPLE WALLS COUPLER CRIPPLE WALLS COUPLER FOR INFO. COUPLER CRIPPLE WALLS COUPLER CRIPPLE WALLS CRIPPLE WALLS CRIPLE WALLS CRIPLE WALLS CRIPPLE WALLS CRIPLE WALLS CRIPLE		I/2" AIR GAP BETWI GIRDER AND FOOT GIRDER H2.5 CLIP EACH SIDE OF C 4x8 P.T.D.F. x 12" LONG LEDGER C ONTO GIRDER W/2-5/8¢ THREAD (H.D.G.) AT EPOXY AND SMOOTH S LEDGER AT 6" APART & 3" FROM (ALTERNATE: USE ALL-THREAD WI AT CONCRETE AND WOOD LEDGER (USE 2-5/8"¢ "J" BOLTS AT (N) COL GIRDER	NG WALL BIRDER DED ROD SHAFT AT 4 ENDS TH EPOXY R).
APPROX. 45° WALL PLAN B INSTALLATION	NOT SHOWN SEE A CORNER STUD NOTE: COUNTERSINKING INTO POST A MAXIMUM OF I" ALLOWED AT 6x6 OR LARGER POSTS.		'GH' HANGER	
	3 TYP. PLAN @ HOLDOWN	4	GIRDER TO F	OUNDAT
L TIEDOWN LOCATIONS. LEVEL ARE ND FOUNDATION HEET SD-4 FOR NS. L WINDOW OR DOOR OR S.N. IF PLYWOOD PLATE & FLOOR STUD TO POST W/ EDOWN OCCURS. R. SHEAR WALL HEAR WALL HIS AREA.				
TYP. (DO NOT SCALE FOR ACTUAL DIMENSIONS	8	9	SPECIAL WIN	DOW / DO
ALL, AS OCCURS ALL, AS OCCURS ALL, AS OCCURS OR POST, AS OCCURS SON 'PB' POST BASE PAD GRADE -#4 AT Q -#4 AT Q -#4 AT Q -#5 AT 12"o.c., E.M., AT BOTT. OF FTG'S. U.N.O.	FLOOR FLYND. SILL NAILING AT INT. SHEAR WALL EN. SILL NAILING AT INT. SHEAR WALL EN. FLASHING AND WATER FROOFING, S.A.D. PAD GRADE NOTE: SEE DET. OTHER INFO. NOT SHOWN.		< PLYWOOD SUBFLOOR) W/ SIMPSON	ONNECTION FOI Bx sole plate (W/ 1 1/4
		11	SOLE PLATE SCR	SE/MINIC OC
	13 FOOTING AT SLAB	14	SULE PLATE SUP	

