

567 - 595 MAYBELL AVENUE

PTC SUBMITTAL

APRIL 25, 2013
FOR
PALO ALTO HOUSING CORPORATION



TABLE OF CONTENTS

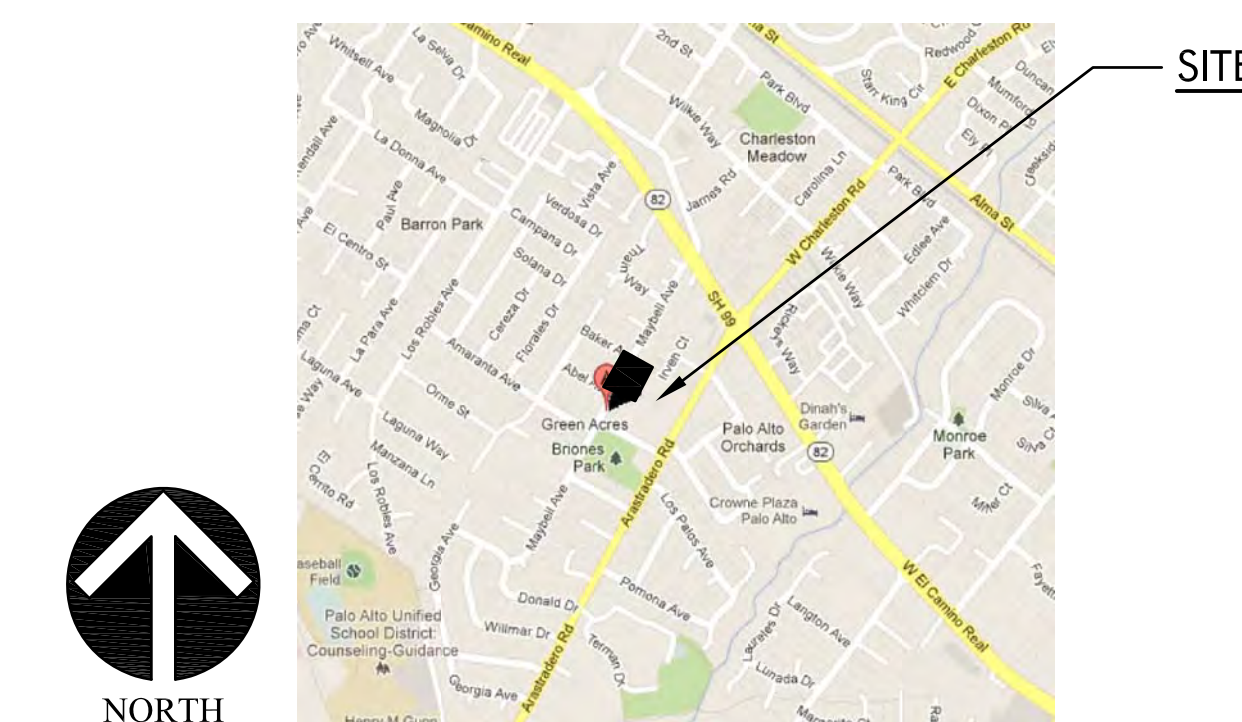
ARCHITECTURAL SHEETS

T1.0	TITLE SHEET
A1.0	AERIAL PLAN
A1.1	AERIAL - DATED PHOTOGRAPHS
A2.0	SITE PLAN- PROPOSED
A2.1	SHADOW STUDY SENIOR BUILDING
A2.2	MASSING MODEL STUDY
A2.3	PHOTOMONTAGE
A3.0	SINGLE FAMILY - PLAN 1
A3.1	SINGLE FAMILY ROOF PLANS - PLAN 1
A3.2	SINGLE FAMILY ELEVATIONS - PLAN 1A & 1B
A3.3	SINGLE FAMILY ELEVATIONS - PLAN 1C
A4.0	SINGLE FAMILY - PLAN 2
A4.1	SINGLE FAMILY ELEVATIONS & ROOF PLAN - PLAN 2
A5.0	SINGLE FAMILY - PLANS 3A & 3C
A5.1	SINGLE FAMILY - PLAN 3B
A5.2	SINGLE FAMILY ROOF PLANS - PLAN 3
A5.3	SINGLE FAMILY ELEVATIONS - PLAN 3A & 3B
A5.4	SINGLE FAMILY ELEVATIONS - PLAN 3C
A6.0	SINGLE FAMILY STREETSCAPES
A7.0	SENIOR BUILDING - FIRST FLOOR
A7.1	SENIOR BUILDING - SECOND FLOOR
A7.2	SENIOR BUILDING - THIRD FLOOR
A7.3	SENIOR BUILDING - FOURTH FLOOR
A7.4	SENIOR BUILDING - ROOF PLAN
A7.5	SENIOR BUILDING - ELEVATION
A7.6	SENIOR BUILDING - ELEVATION
A7.7	SENIOR BUILDING - RENDERED ELEVATIONS
A8.0	SITE & BUILDING SECTION A
A8.1	SITE & BUILDING SECTION B
A9.0	SCHEMATIC DETAILS & WALL SECTIONS - SINGLE FAMILY
A9.1	SCHEMATIC DETAILS & WALL SECTIONS - SENIOR BUILDING

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VICINITY MAP NO SCALE



567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

ELECTRICAL SHEETS

E1.1P	PHOTOMETRICS-SITE PLAN
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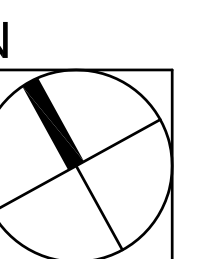
LANDSCAPE SHEETS

L1	CONCEPTUAL LANDSCAPE PLAN
L2	PARKING LOT SHADING STUDY
L3	TREE PROTECTION FENCING PLAN
L4	TREE PROTECTION NOTES

CIVIL SHEETS

C1	EXISTING CONDITION PLAN
C2	CONCEPTUAL SITE PLAN
C3	CONCEPTUAL GRADING PLAN
C4	CONCEPTUAL C.3
C5	STORMWATER CONTROL PLAN
	CONCEPTUAL UTILITY PLAN

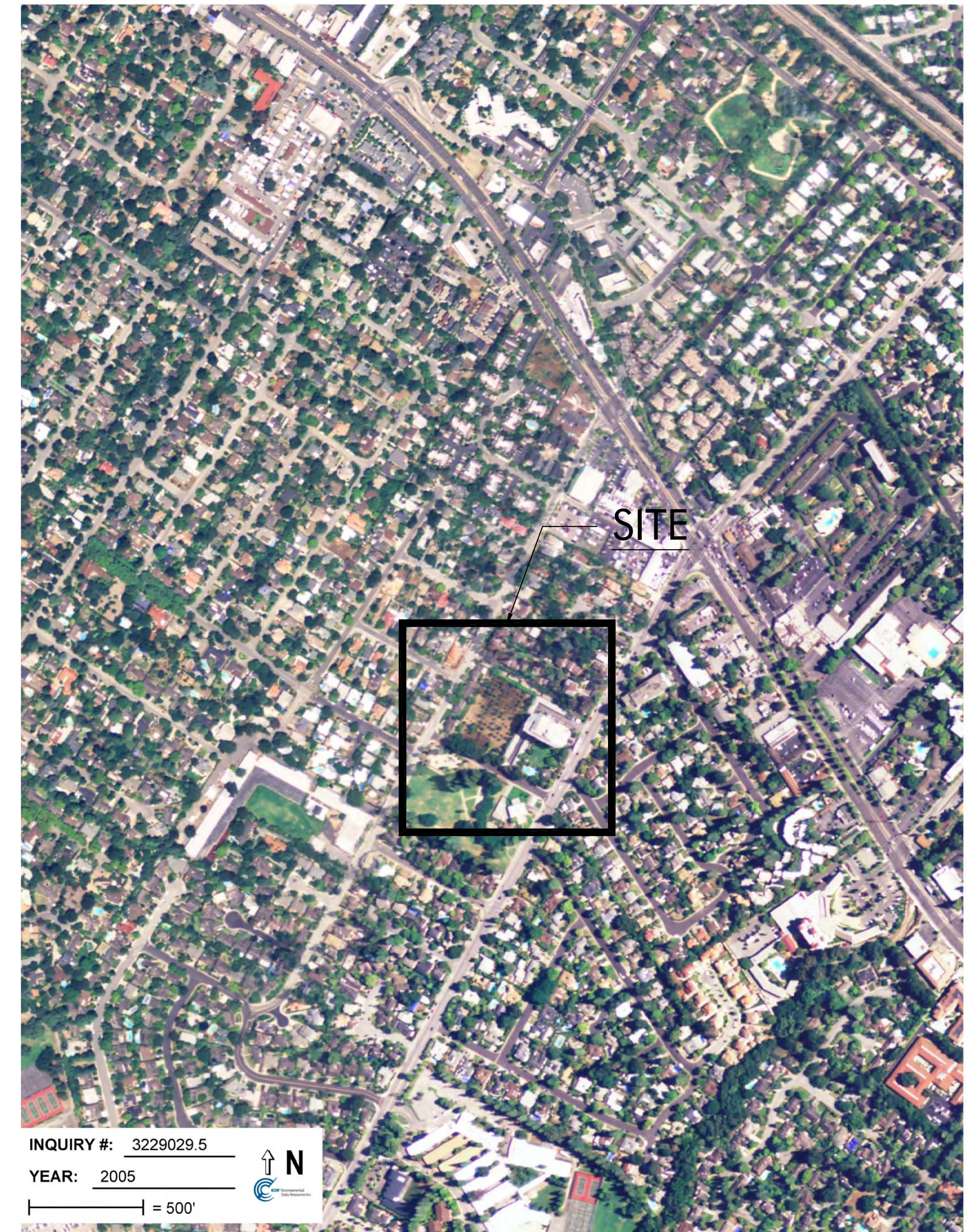
TITLE SHEET



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T1.0



AERIAL PHOTOGRAPH - DATED 1991

AERIAL PHOTOGRAPH - DATED 1998

AERIAL PHOTOGRAPH - DATED 2005

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

AERIAL
DATED PHOTOGRAPHS
NO SCALE

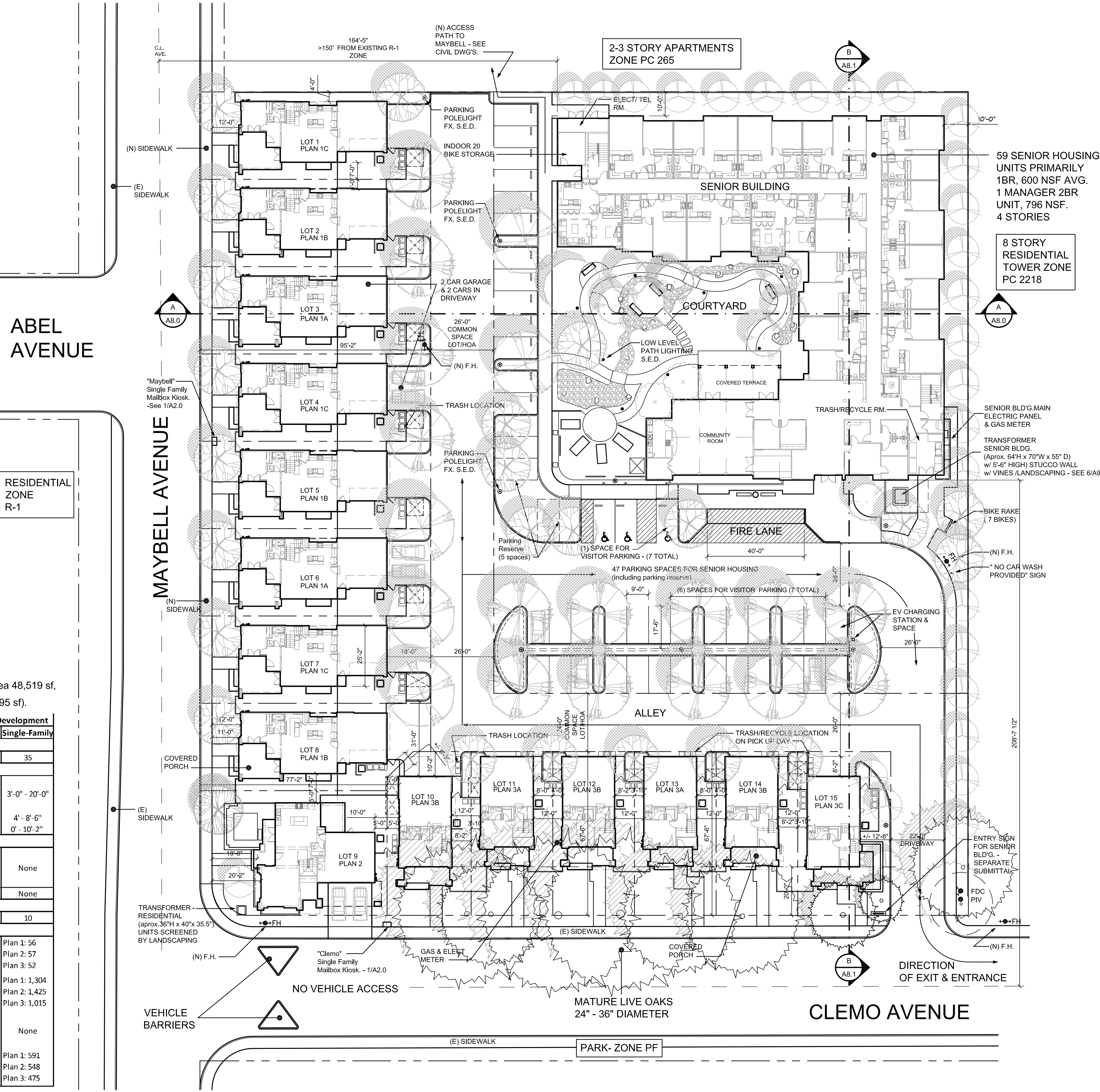
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DATE 04-15-13



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A1.1

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SITE PLAN- PROPOSED

SITE DATA

- SITE AREA: 2.4 AC (107,408 SF)
- ZONING: PC PLANNED COMMUNITY
- HEIGHT LIMIT:
 - SINGLE FAMILY: 35'-0"
 - SENIOR BUILDING: 50'-0"
- DENSITY:
 - SENIORS - 60 AFFORDABLE UNITS
 - SINGLE FAMILY - 15 UNITS
 - TOTAL - 75 UNITS
 - DENSITY - 31 UNITS / ACRE
- LANDUSE:
 - SINGLE FAMILY
 - APARTMENTS
- PARKING CALCULATION:
 - 42 STALLS (SENIORS), 47 STALLS (with reserve)
 - PARKING RATIO - 0.70 STALLS / UNIT, (0.78 w/ reserve)
- SENIOR BUILDING AREAS:
 - 4 STORIES BUILDING
 - FIRST FLOOR: 16,175 SF
 - SECOND FLOOR: 13,950 SF
 - THIRD FLOOR: 13,943 SF
 - FOURTH FLOOR: 12,252 SF
 - TOTAL AREA: 56,320 SF
- SENIOR BUILDING MISC AREAS:
 - COVERED TERRACE: 468 SF
 - DECK @ 2nd. Flr: 125 SF
 - ROOF TERRACE: 1152 SF

PROPOSED LOT AREAS

SITE AREA: 2.4 AC (107,408 SF)
 SINGLE FAMILY LOT TOTAL AREA: 44,956 S.F.
 SENIOR BUILDING LOT AREA: 48,519 S.F.
 COMMON SPACE LOT/ HOA: 13,933 S.F.

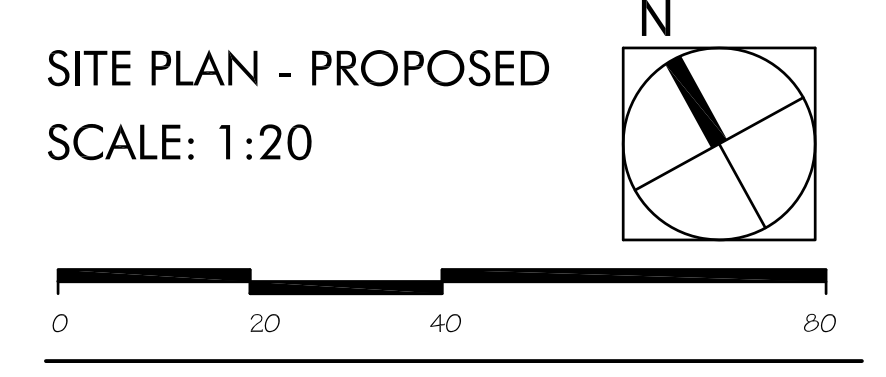
ZONING COMPARISON: (Based on Senior lot area 48,519 sf, and typical single family lot size for plans 1 (3,426sf), 2 (3,817 sf), and 3(2,295 sf).

	Palo Alto Zoning Code			Proposed Development	
	PC	RM-15	RM-30	Senior	Single-Family
HEIGHT					
Maximum Height (ft)	50	30	35	50	35
SETBACKS					
Street Side & Rear Setbacks (ft)	Meet minimum yard requirement of most restrictive bordering district	16	16	10	3'-0" - 20'-0"
Interior Side Yard (ft)		6	6	n/a	4' - 8' 6"
Interior Rear Yards (ft)		10	10	n/a	0' - 10'-2"
DAYLIGHT PLANES					
Initial Height (ft)	Beginning at a height of 10 ft on sides & increasing at rate of 3ft in height for every 6ft	None	None	None	None
Angle (degrees)		None	None	None	None
DENSITY					
Max. units per acre	n/a	15	30	60	10
OPEN SPACE					
Site Open Space (percent)		35	30	28	Plan 1: 56 Plan 2: 57 Plan 3: 52
Usable Open Space (sf / unit)	Meet minimum open space requirement of most restrictive bordering district	200	150	199	Plan 1: 1,304 Plan 2: 1,425 Plan 3: 1,015
Common Open Space (sf / unit)		100	75	148	None
Private Open Space (sf / unit)		50	50	None	Plan 1: 591 Plan 2: 548 Plan 3: 475

- SINGLE FAMILY TOTAL LIVING AREAS:**
- PLAN 1: SINGLE FAMILY- 8 TOTAL = 17,353 SF
- PLAN 1A (2 TOTAL), 3 STORY, 4 BED/ 3.5 BATH, TOTAL: 2,369 SF (GARAGE 432 SF)
 - PLAN 1B (3 TOTAL), 3 STORY, 4 BED/ 3.5 BATH, TOTAL: 2,393 SF (GARAGE 432 SF)
 - PLAN 1C (3 TOTAL), 2 STORY, 3 BED/ 2.5 BATH, TOTAL: 1,926 SF (GARAGE 432 SF)
- PLAN 2: SINGLE FAMILY-1 TOTAL = 2,310 SF
- 2 STORY, 4 BED/ 3.5 BATH, TOTAL: 2,310 SF (GARAGE 460 SF)
- PLAN 3: SINGLE FAMILY- 6 TOTAL = 11,024 SF
- PLAN 3A (2 TOTAL), 3 STORY, 4 BED/ 4 BATH, TOTAL: 1,846 SF (GARAGE 455 SF)
 - PLAN 3B (3 TOTAL), 3 STORY, 4 BED/ 4 BATH, TOTAL: 1,840 SF (GARAGE 453 SF)
 - PLAN 3C (1 TOTAL), 3 STORY, 4 BED/ 4 BATH, TOTAL: 1,852 SF (GARAGE 455 SF)
- SINGLE FAMILY TOTAL LIVING AREAS = 31,069 SF
- SENIOR BUILDING TOTAL 56,320 SF
- TOTAL AREA OF DEVELOPMENT 87,389 SF (FAR 0.81.14)

- SITE COVERAGE - (using total site area 107,408 sf)**
- SENIOR BUILDING FOOTPRINT: 16,643 SF (Includes covered terraces)
 - COVERAGE: 15.5%
 - SINGLE FAMILY FOOTPRINT TOTALS: 19,571 SF (Includes covered porches)
 - COVERAGE: 18.2%
 - PAVING/PARKING: 37,585 SF
 - COVERAGE: 34.7%
 - LANDSCAPE: 33,619 SF
 - COVERAGE: 31.3%
- BICYCLE PARKING**
- SENIOR UNITS: 1 PER 3 UNITS = 20 BIKE STORAGE
 - SENIOR GUEST: 1 PER 10 UNITS = 6 BIKES (7 PROVIDED)
- OPEN SPACE SENIORS - (using total site area 107,408 sf)**
- COMMON USEABLE OPEN SPACE: 8,850 SF, COVERAGE: 8.2% (INCLUDES ROOF TERRACE & 2nd FLOOR DECK)
 - PRIVATE USEABLE OPEN SPACE: NONE (UNITS HAVE NO PATIOS OR BALCONIES)

567 - 595 MAYBELL AVENUE
 PALO ALTO, CALIFORNIA

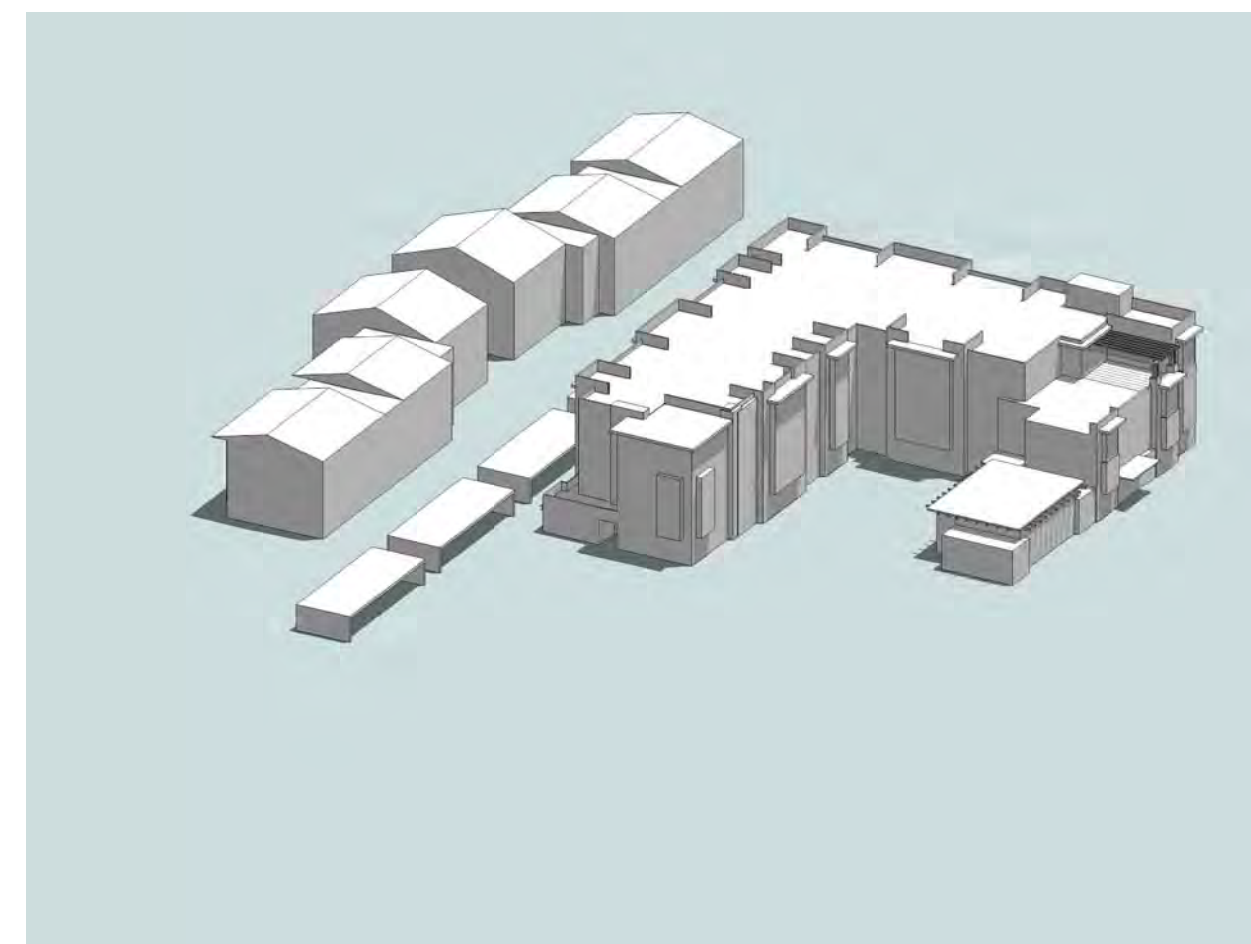


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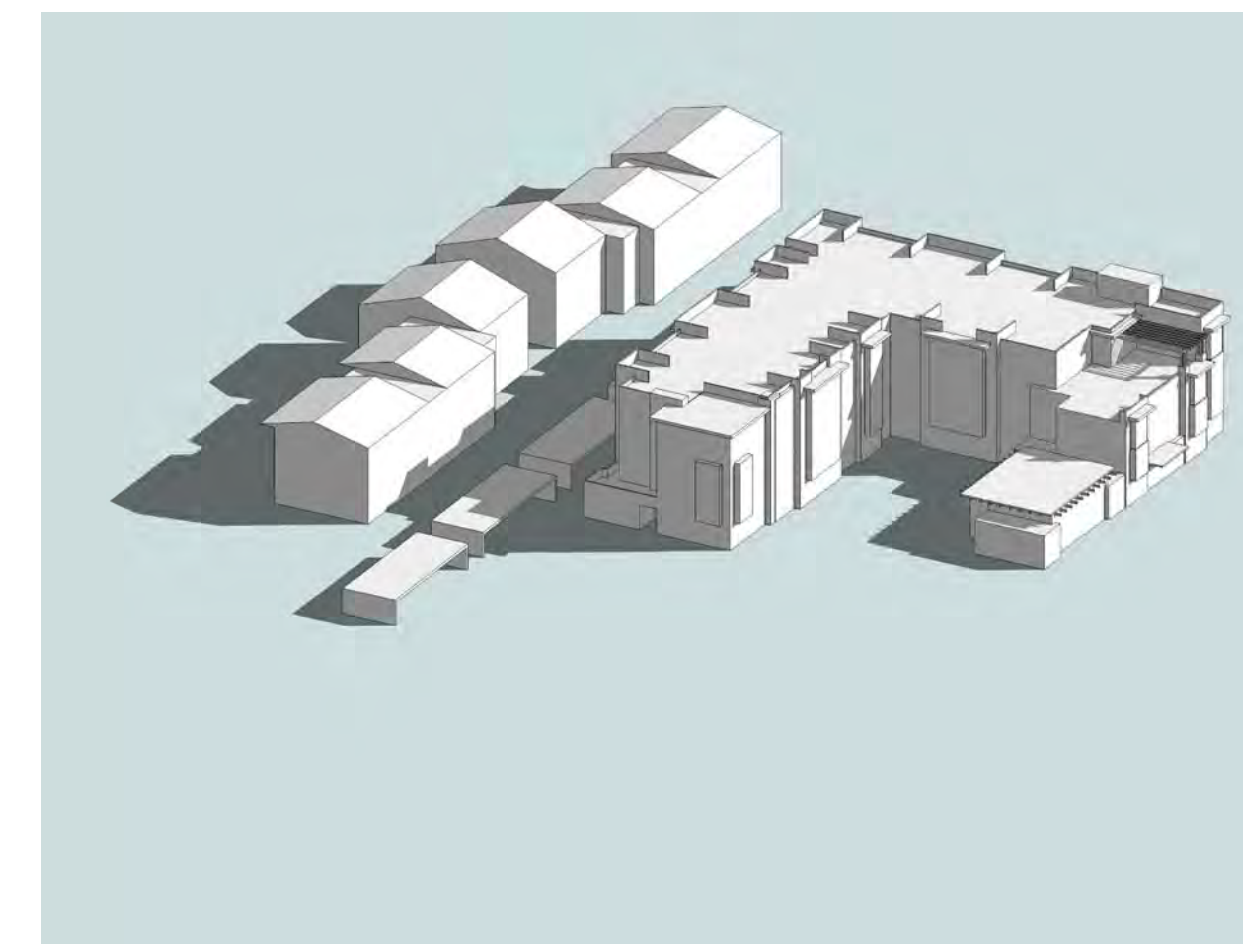
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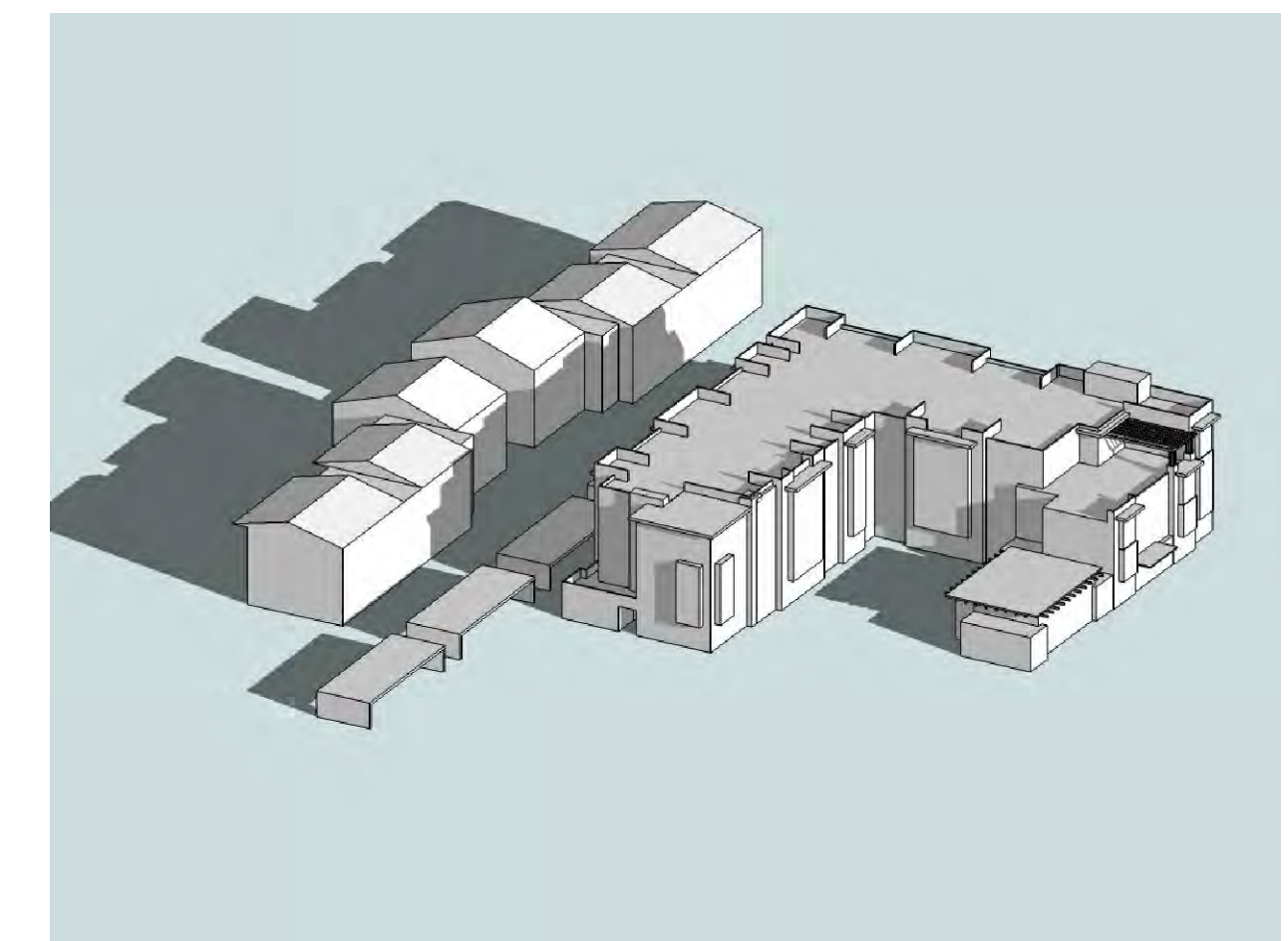
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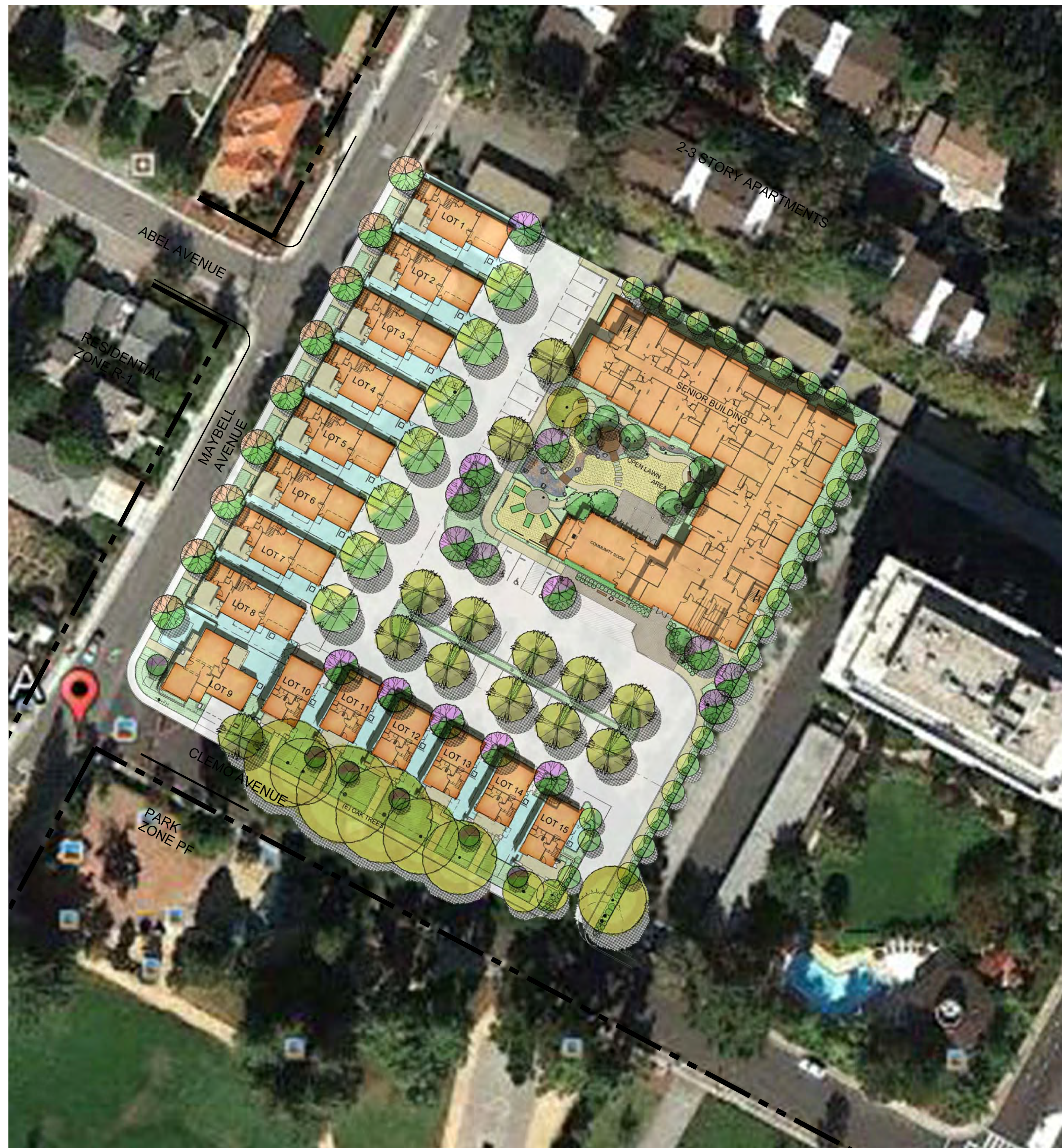
SUMMER SOLSTICE ISOMETRIC VIEW



WINTER SOLSTICE ISOMETRIC VIEW NOON



WINTER SOLSTICE ISOMETRIC VIEW 3PM



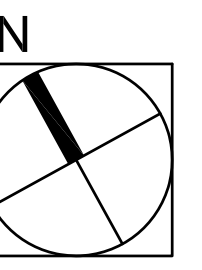
SENIOR BUILDING -
SUMMER SOLSTICE-SHADOW STUDY AT NOON



SENIOR BUILDING -
WINTER SOLSTICE-SHADOW STUDY AT 3PM

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

SHADOW STUDY
SENIOR BUILDING
SCALE: 1:20



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DATE 04-15-13

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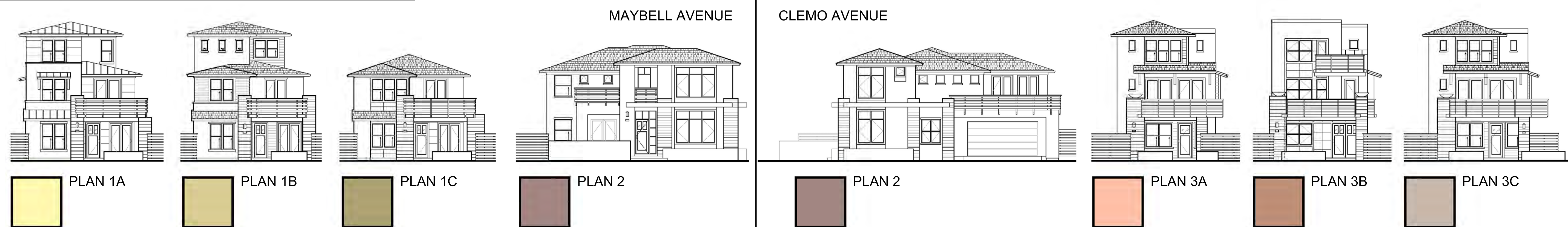
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group

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SENIOR BUILDING

SITE PLAN MASSING MODEL - BIRD'S EYE VIEW



SINGLE FAMILY - MASS MODEL KEY

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

MASSING MODEL
STUDY
SCALE: N.T.S.

JOB NO. 1124-001
DATE 04-15-13



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MAYBELL AVE PHOTOMONTAGE - BEFORE



MAYBELL AVE PHOTOMONTAGE - AFTER



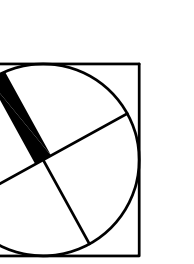
CLEMO AVE PHOTOMONTAGE - BEFORE



CLEMO AVE PHOTOMONTAGE - AFTER

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

PHOTOMONTAGE
SCALE: N.T.S.

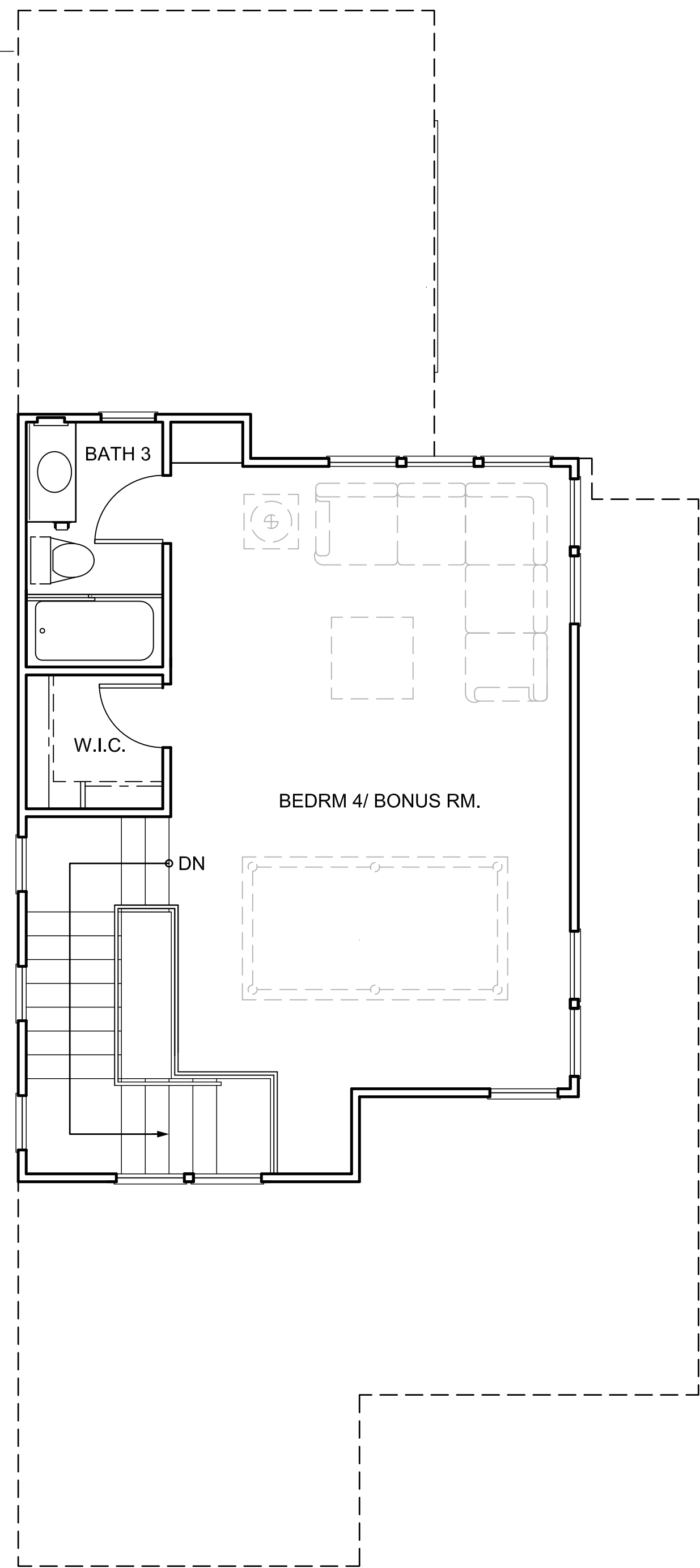


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DATE 04-15-13

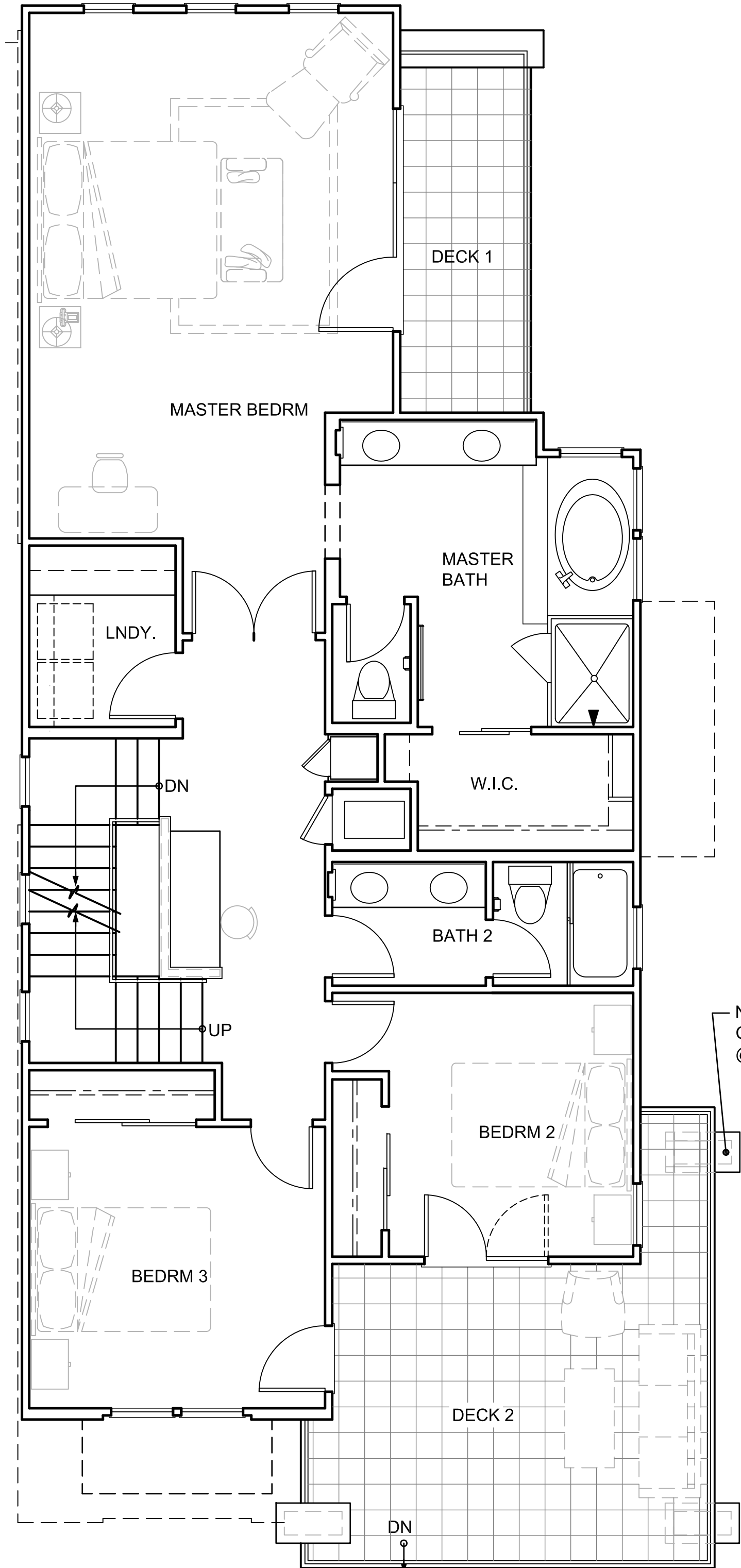


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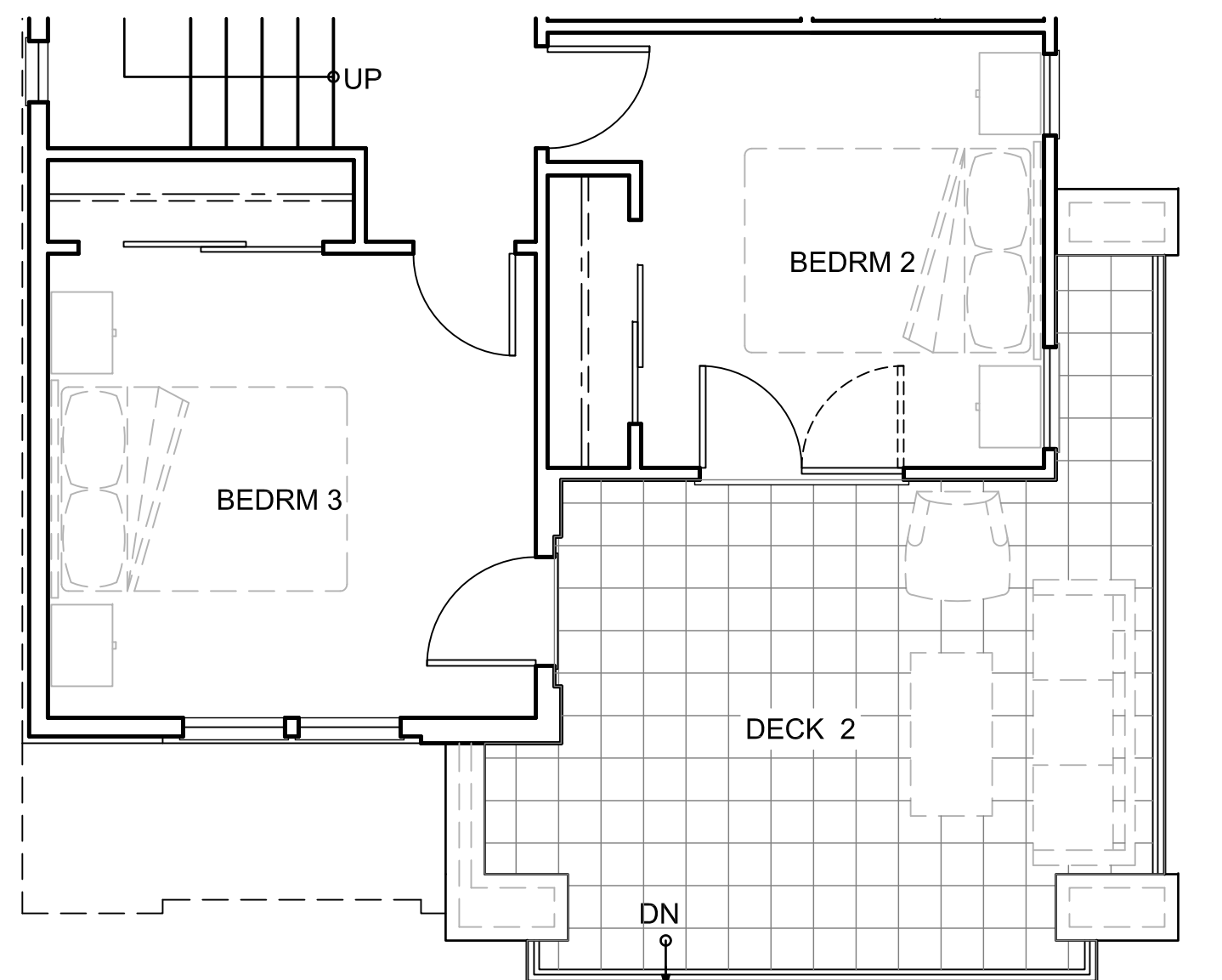
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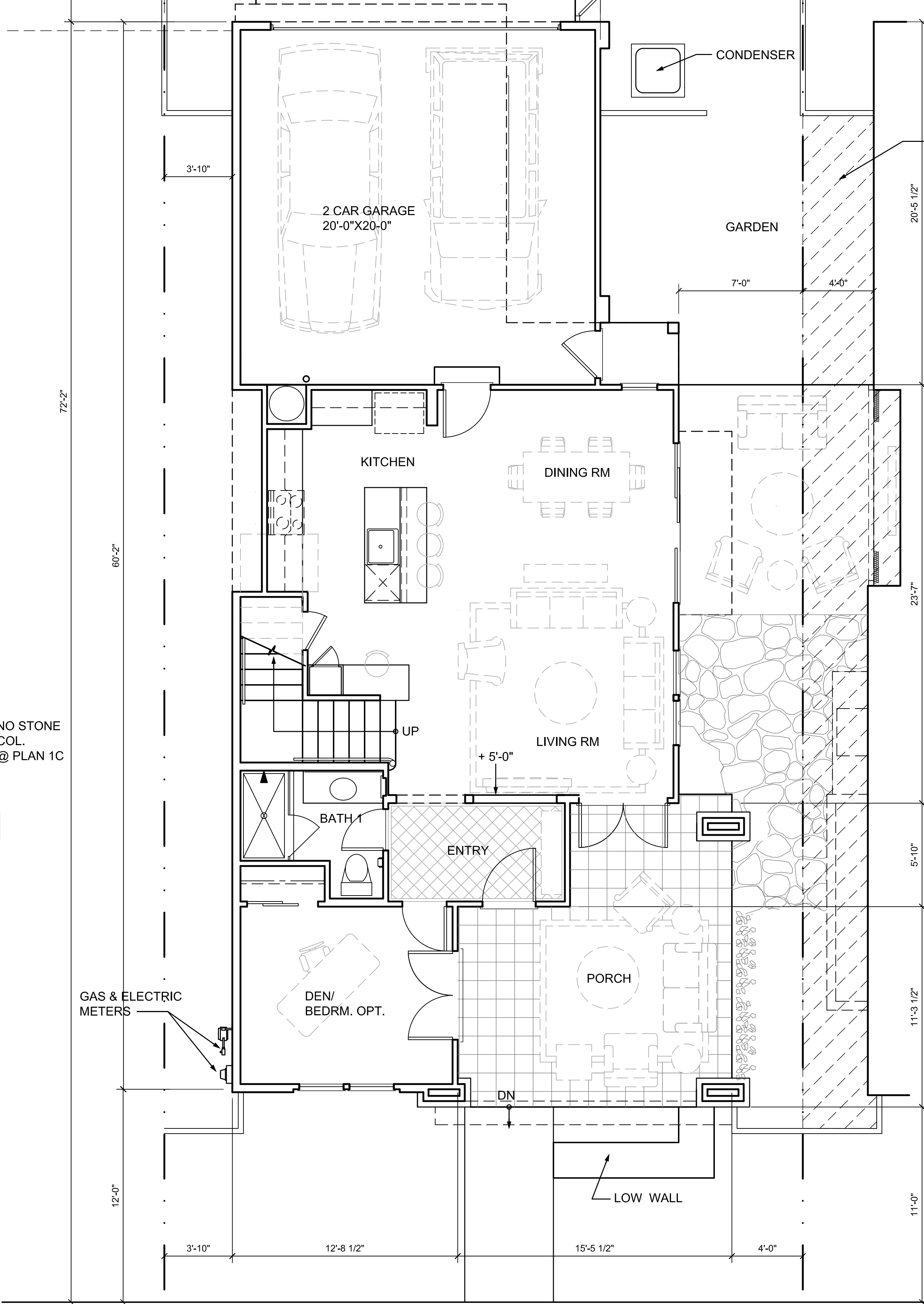
PLAN 1C
SECOND FLOOR PLAN
(W/O 3RD. FLR.)



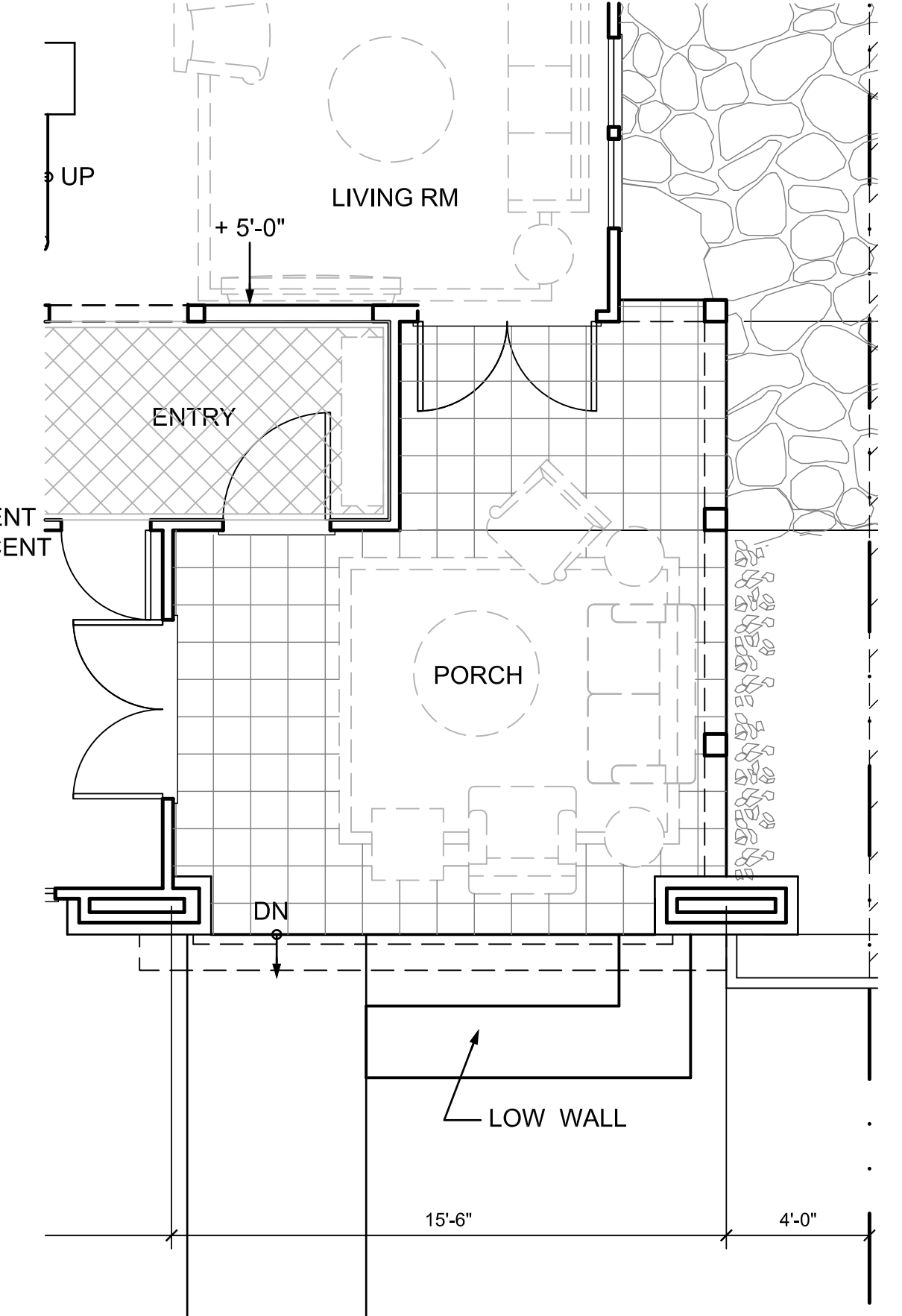
SECOND FLOOR PLAN - PLAN 1A & 1C (SIM.)



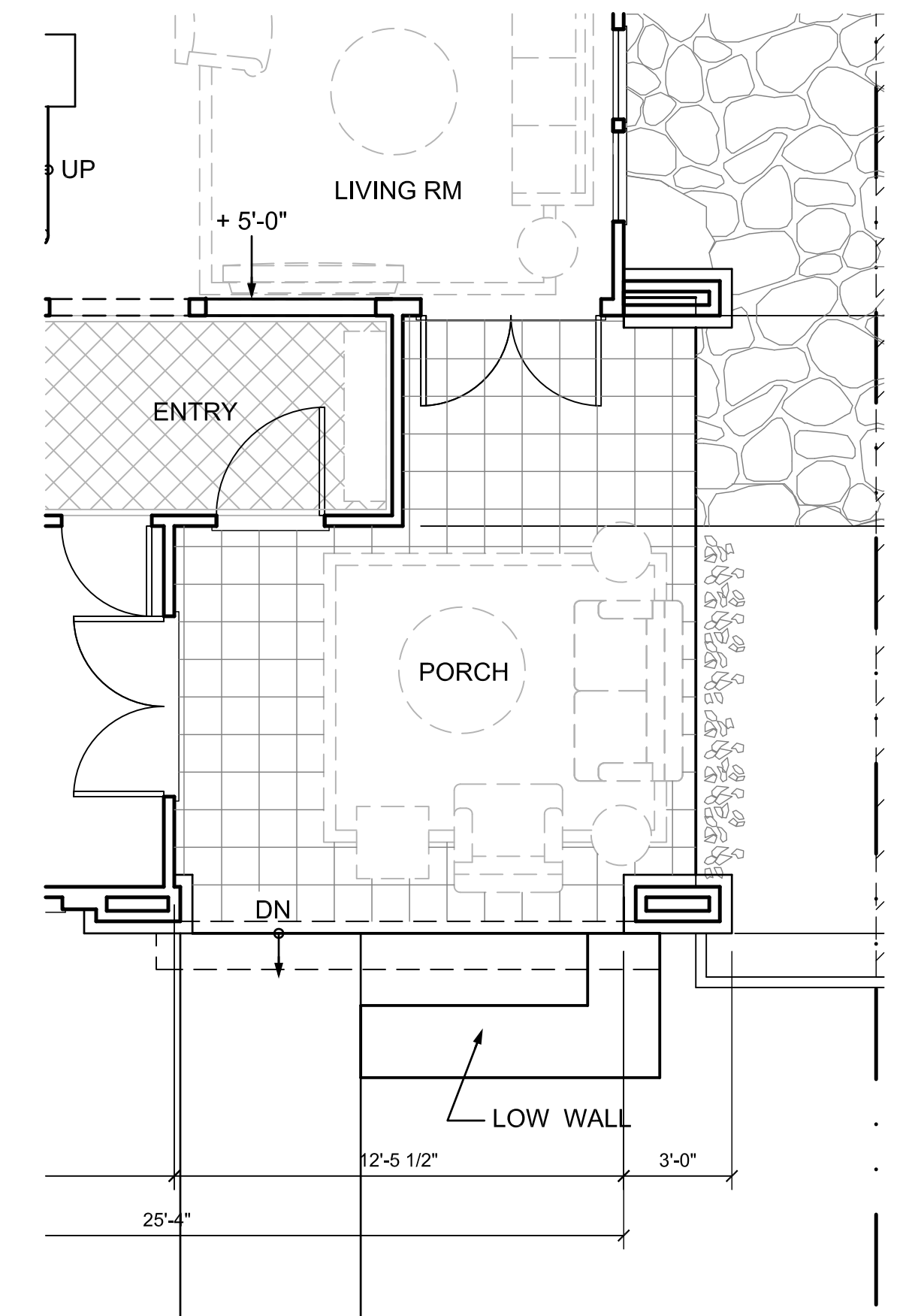
SECOND FLOOR PLAN - PLAN 1B



FIRST FLOOR PLAN 1A

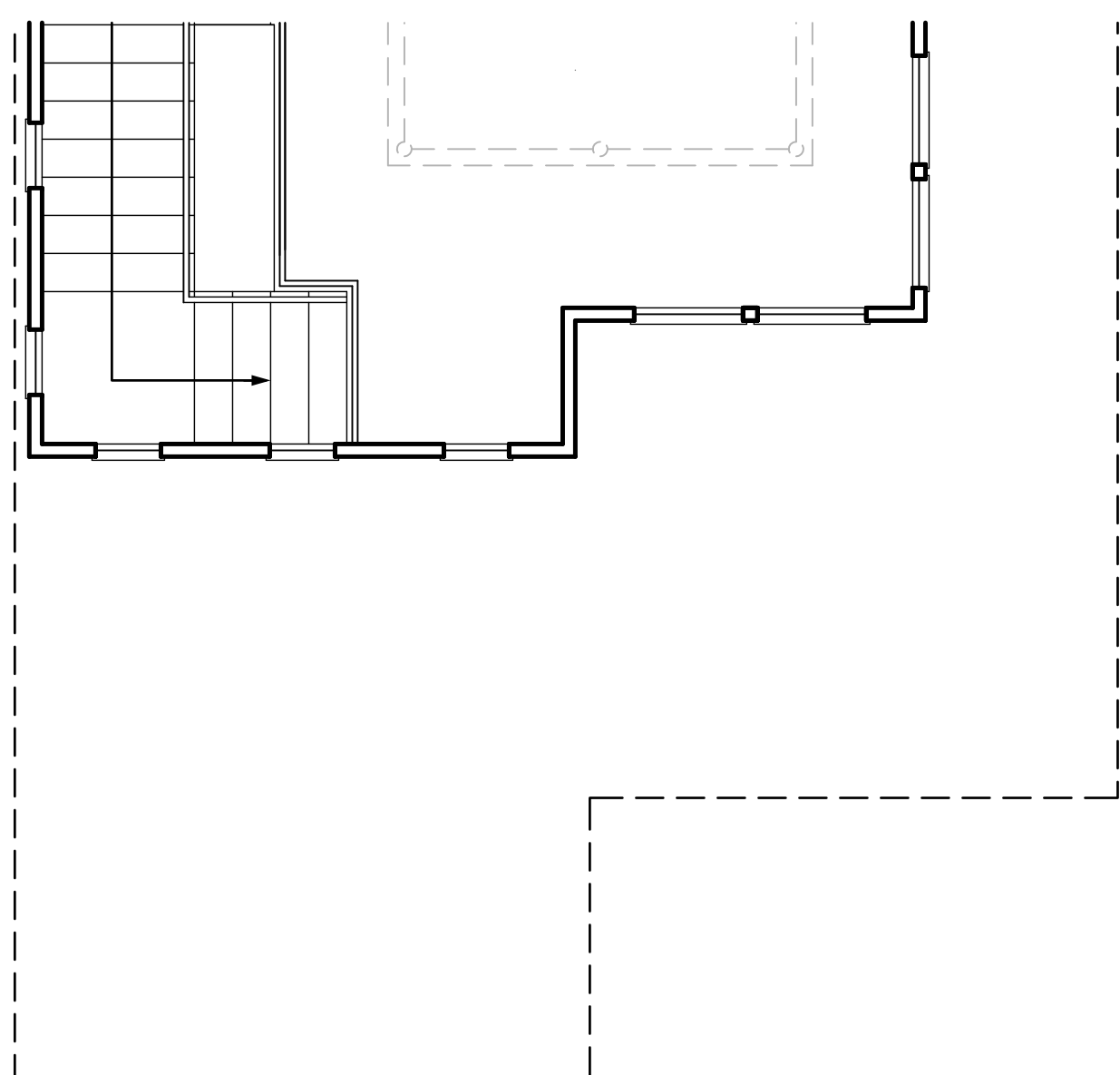


FIRST FLOOR PLAN 1C



FIRST FLOOR PLAN 1B

THIRD FLOOR PLAN - PLAN 1A



THIRD FLOOR PLAN - PLAN 1B

PLAN 1A AREA (3-STORY)

FIRST FLOOR:	813 SF	GARAGE:	432 SF
SECOND FLOOR:	1109 SF	PORCH COVERED AREAS:	216 SF
THIRD FLOOR:	447 SF	DECK 1:	83 SF
TOTAL LIVING:	2369 SF	DECK 2:	216 SF
GARAGE	432 SF	TOTAL PRIVATE SPACES:	561 SF
FLOOR AREA:	2801 SF		

PLAN 1B AREAS (3-STORY)

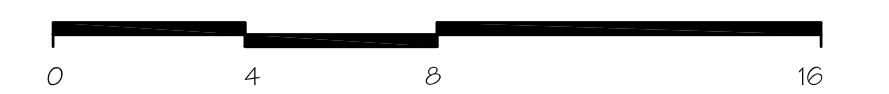
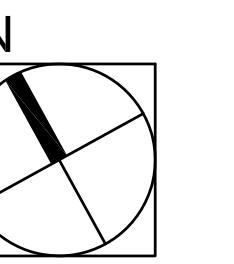
FIRST FLOOR:	819 SF	GARAGE:	432 SF
SECOND FLOOR:	1119 SF	PORCH COVERED AREAS:	216 SF
THIRD FLOOR:	455 SF	DECK 1:	83 SF
TOTAL LIVING:	2393 SF	DECK 2:	216 SF
GARAGE	432 SF	TOTAL PRIVATE SPACES:	561 SF
FLOOR AREA:	2825 SF		

PLAN 1C AREAS (2-STORY)

FIRST FLOOR:	812 SF	GARAGE:	432 SF
SECOND FLOOR:	1114 SF	PORCH COVERED AREAS:	232 SF
TOTAL LIVING:	1926 SF	DECK 1:	83 SF
GARAGE	432 SF	DECK 2:	230 SF
FLOOR AREA:	2358 SF	TOTAL PRIVATE SPACES:	591 SF

567 - 595 MAYBELL AVENUE
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SINGLE FAMILY - PLAN 1
SCALE: 1/4" = 1'-0"

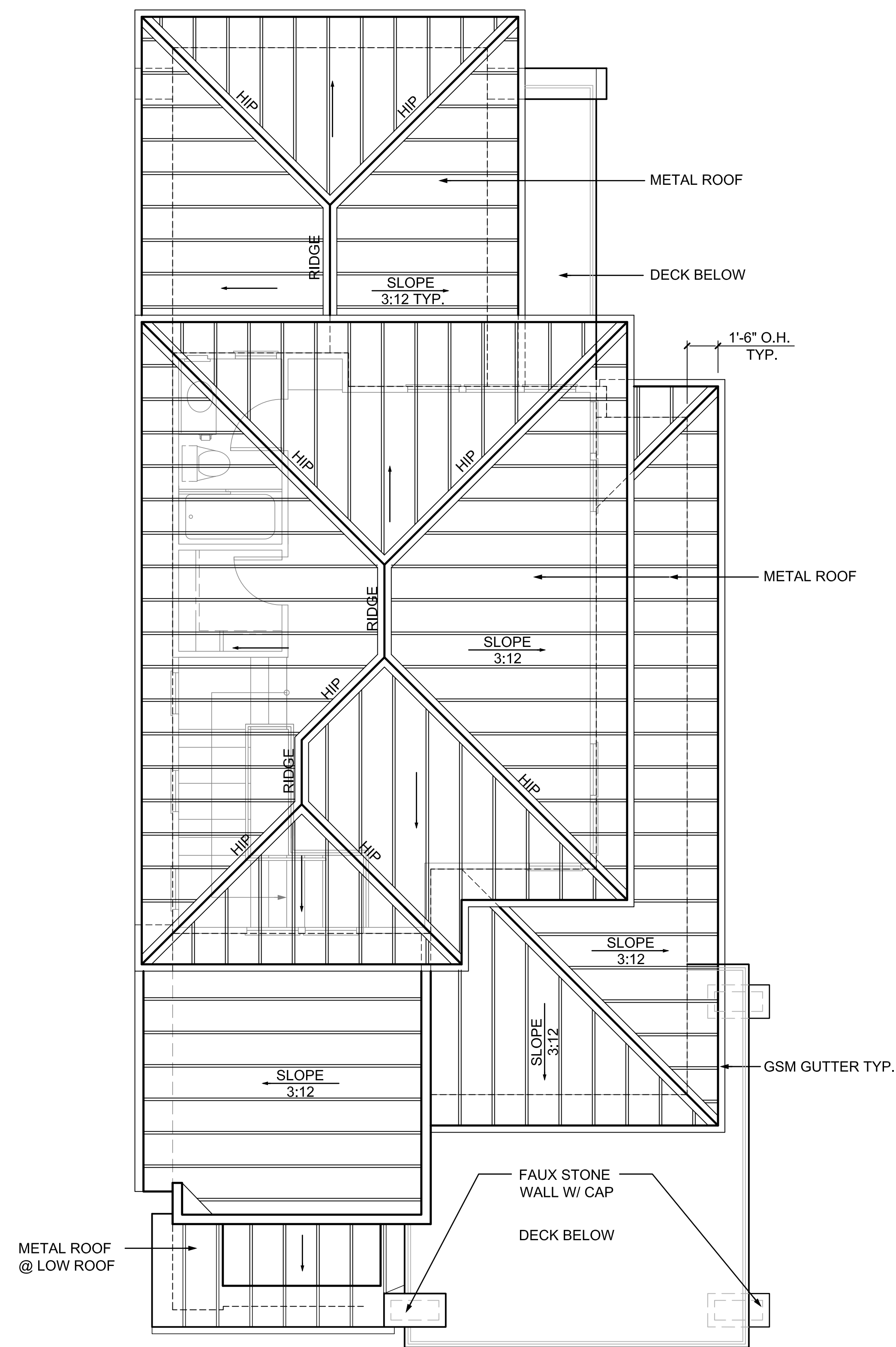


JOB NO. 1124-001
DATE 04-15-13

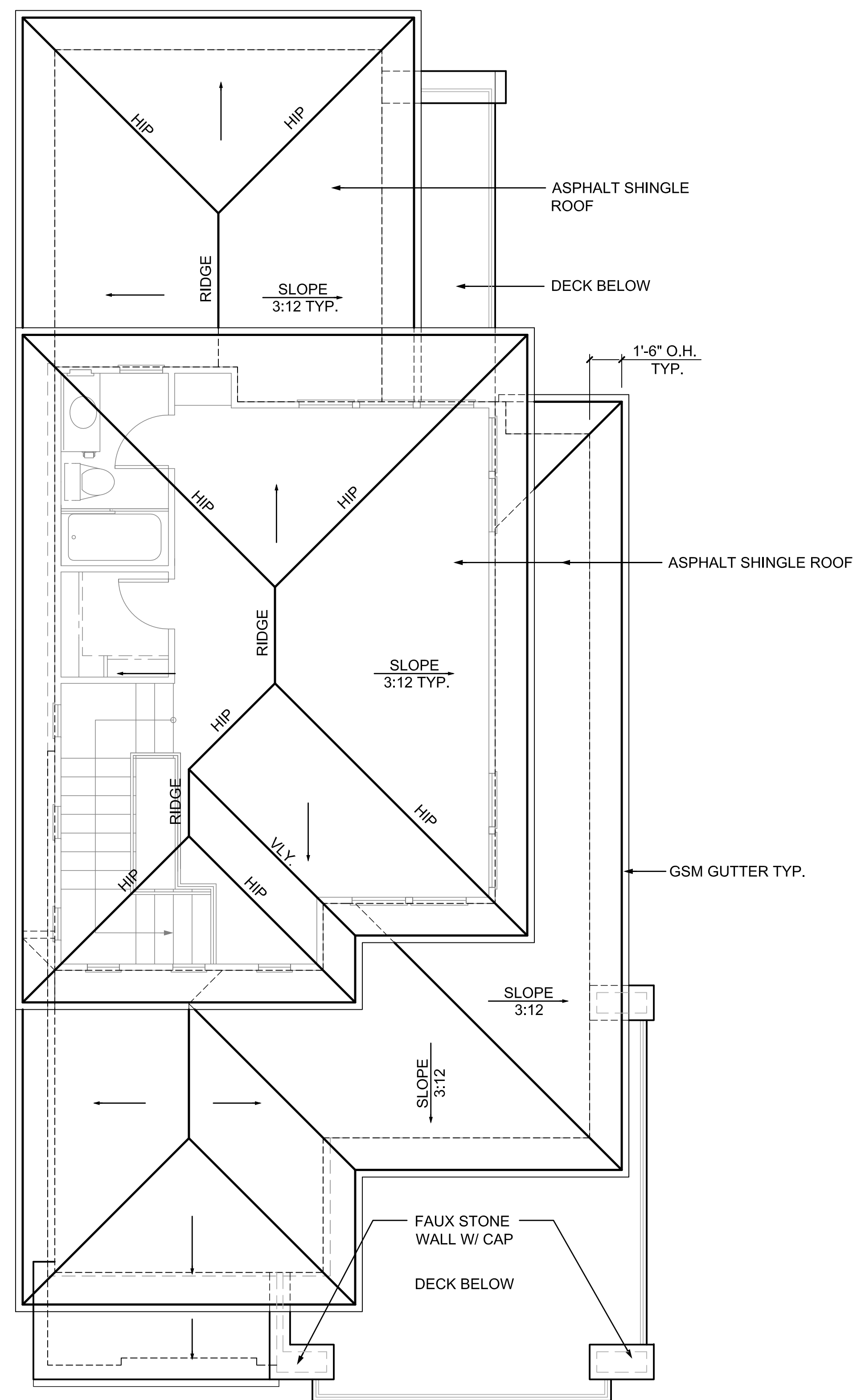


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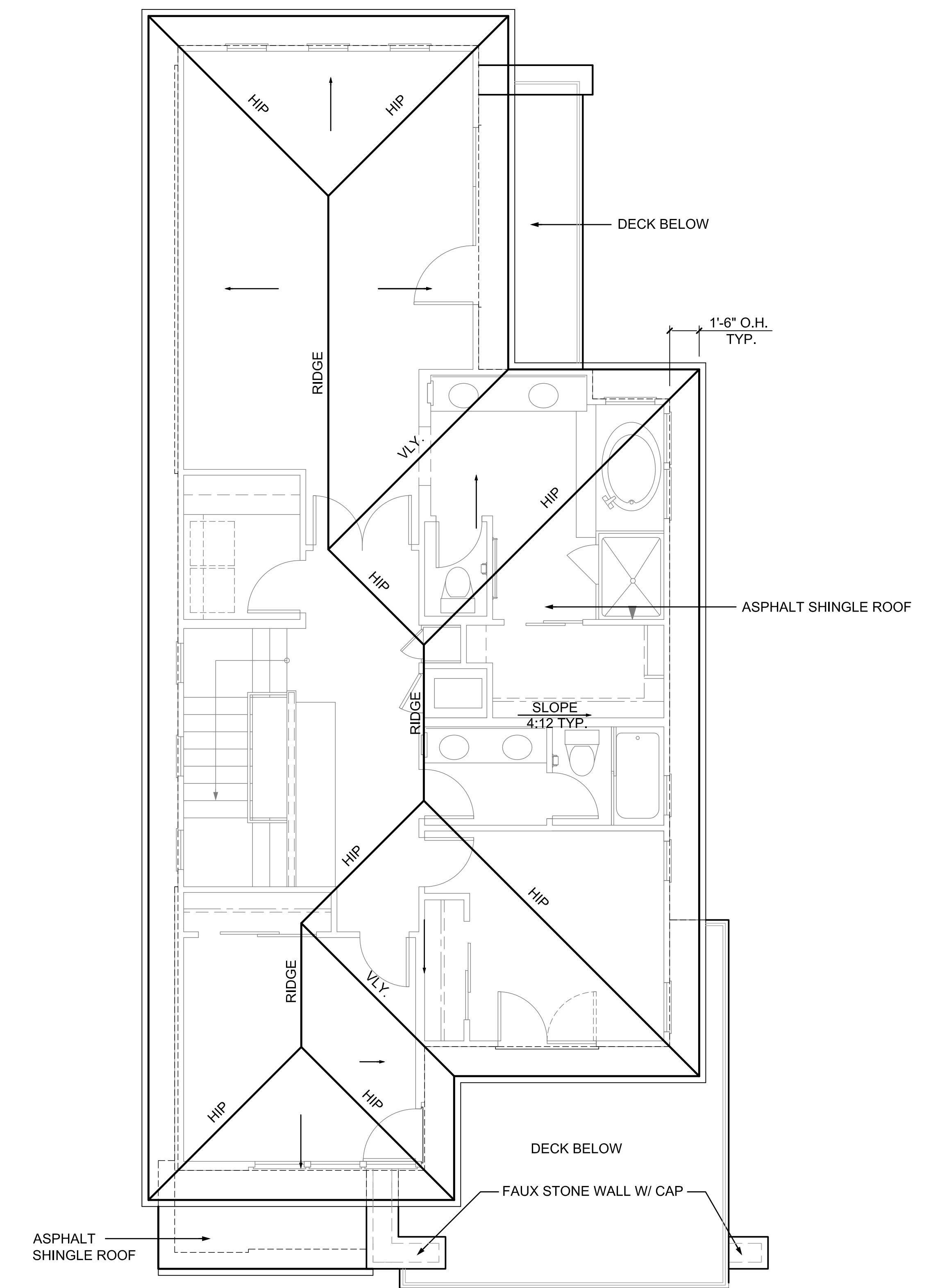
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PLAN 1A - ROOF PLAN



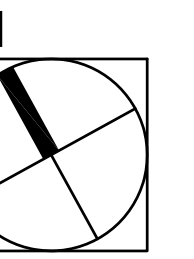
PLAN 1B - ROOF PLAN



PLAN 1C - ROOF PLAN

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

SINGLE FAMILY
PLAN 1 - ROOF PLANS
SCALE: 1/4"=1'-0"



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DATE 04-15-13



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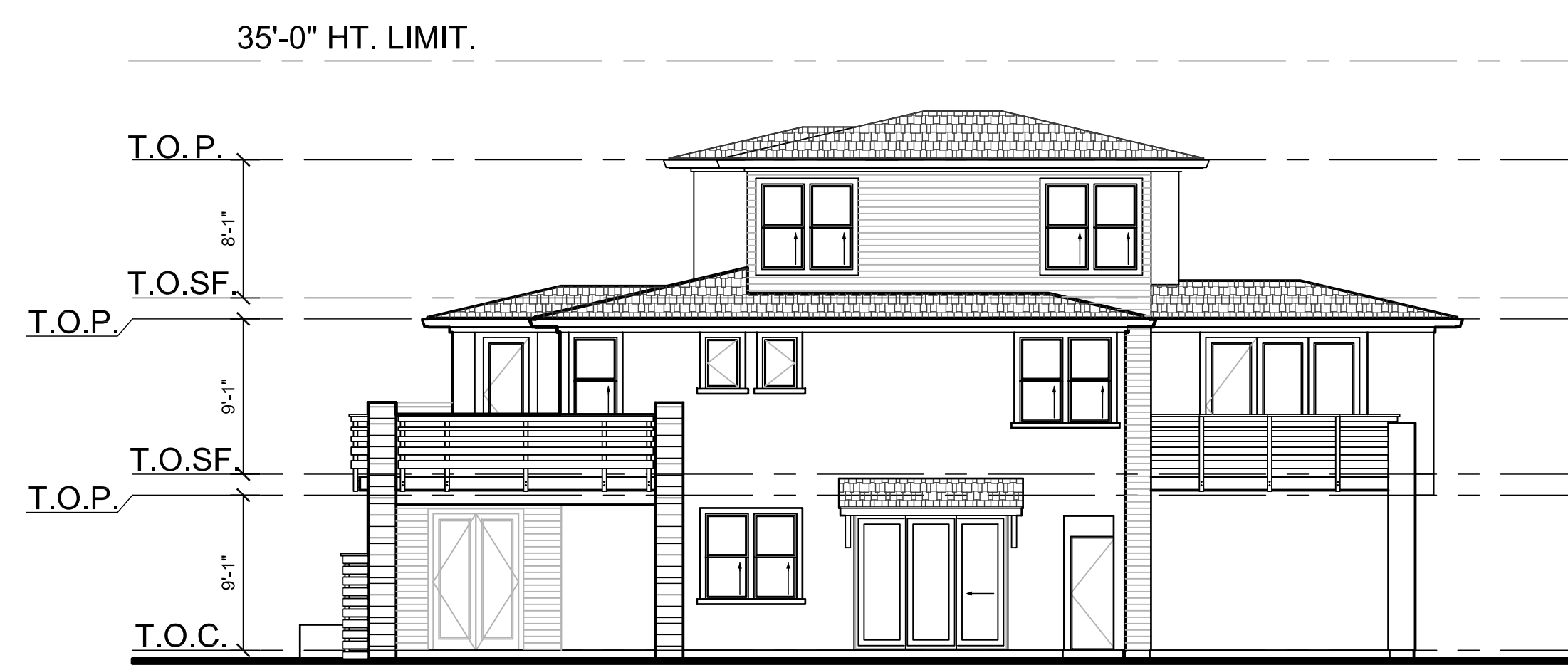
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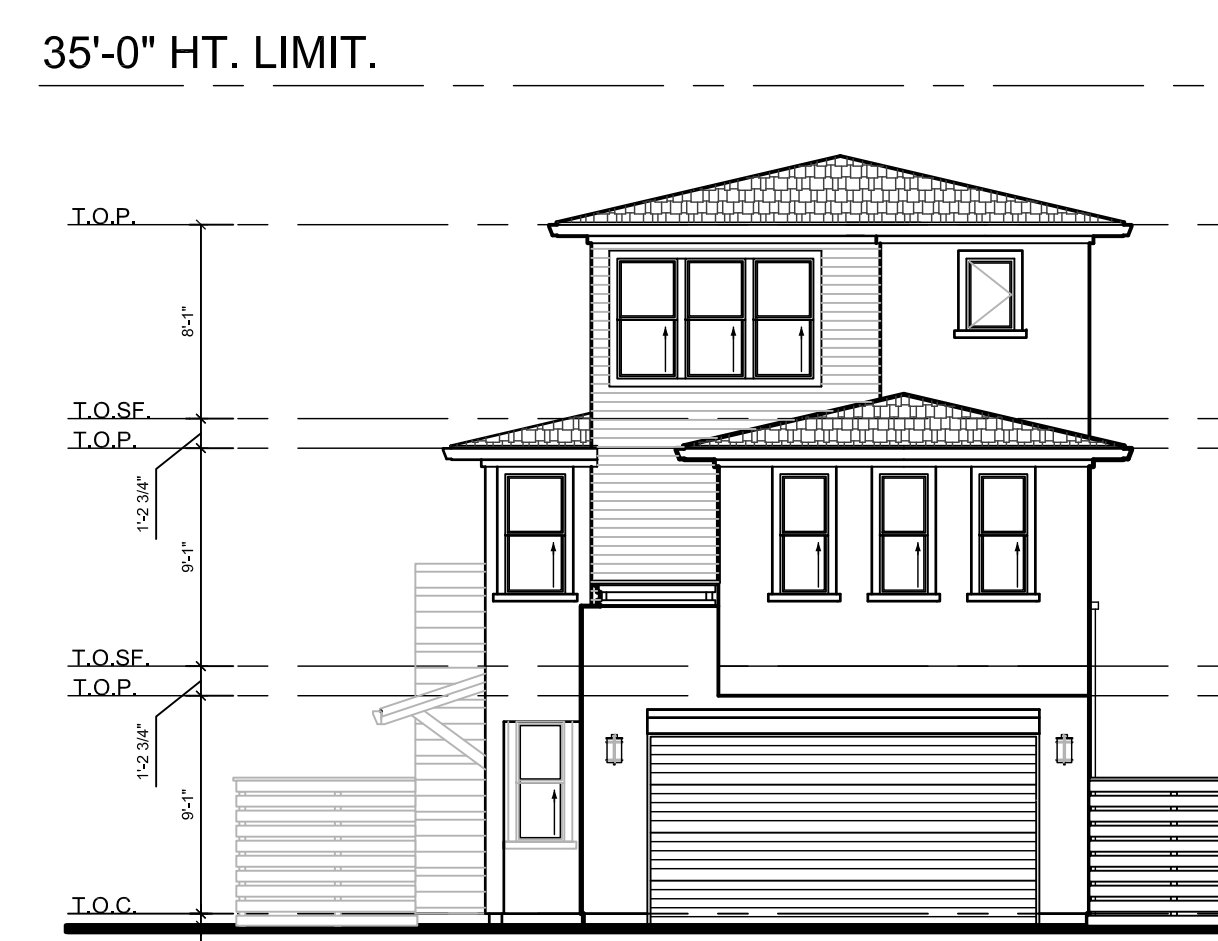
PLAN 1-ELEVATION B



PLAN 1-ELEVATION A



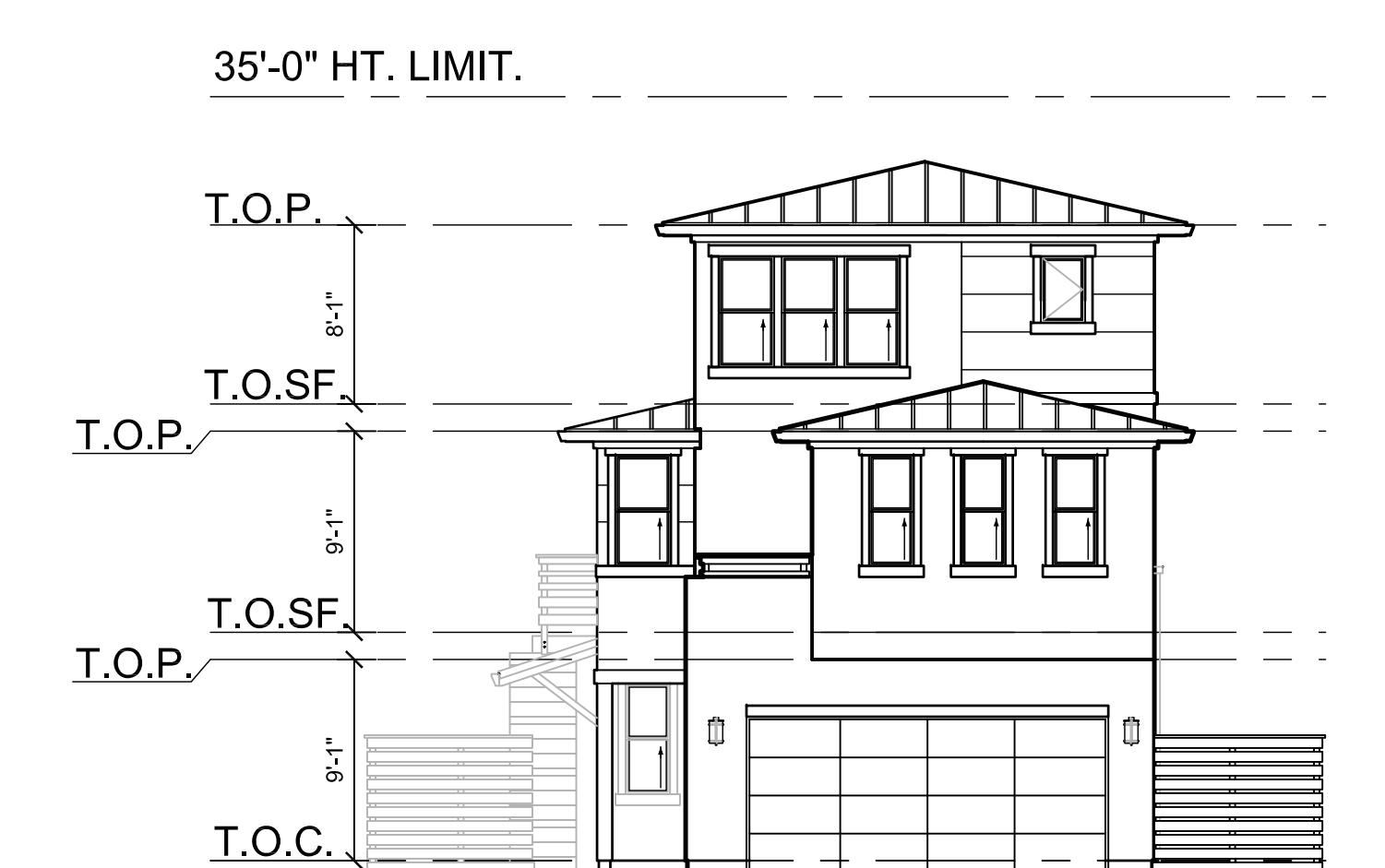
PLAN 1 - SOUTH ELEVATION B



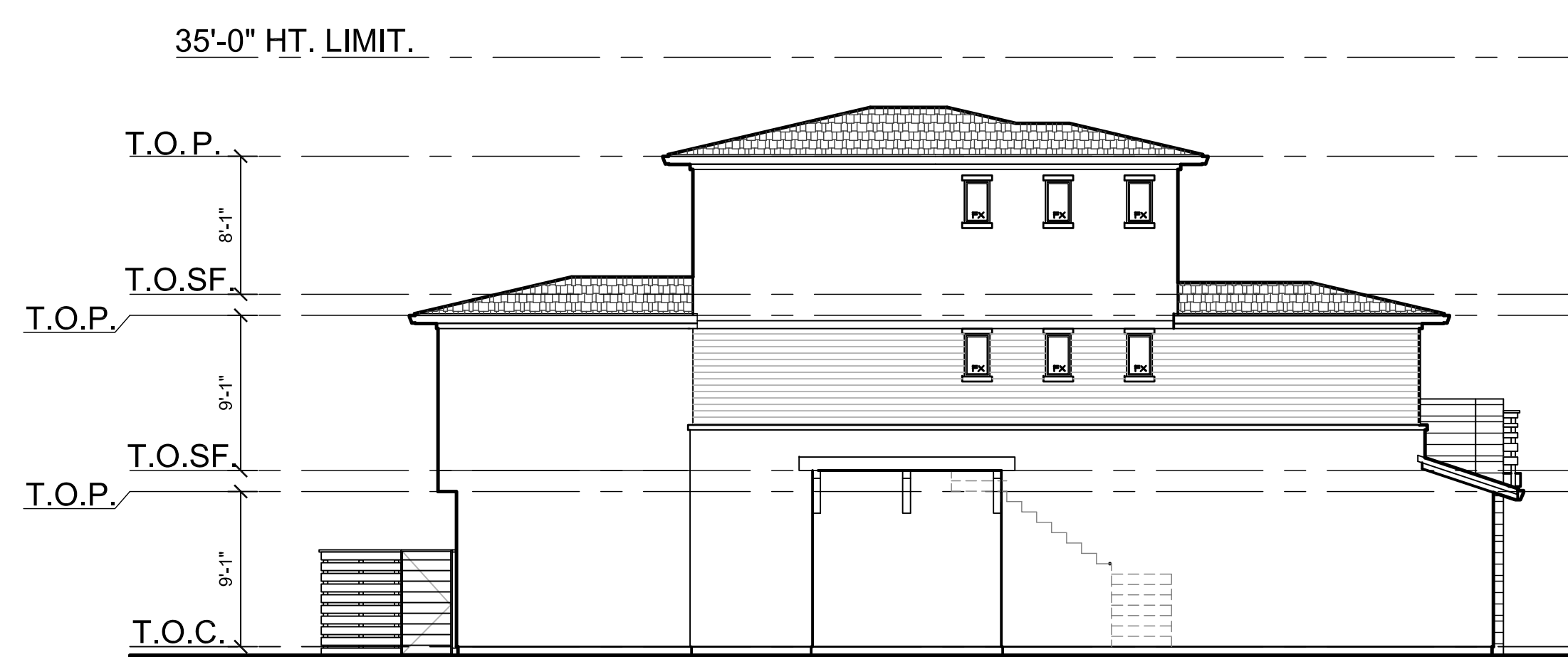
PLAN 1 - EAST ELEVATION B



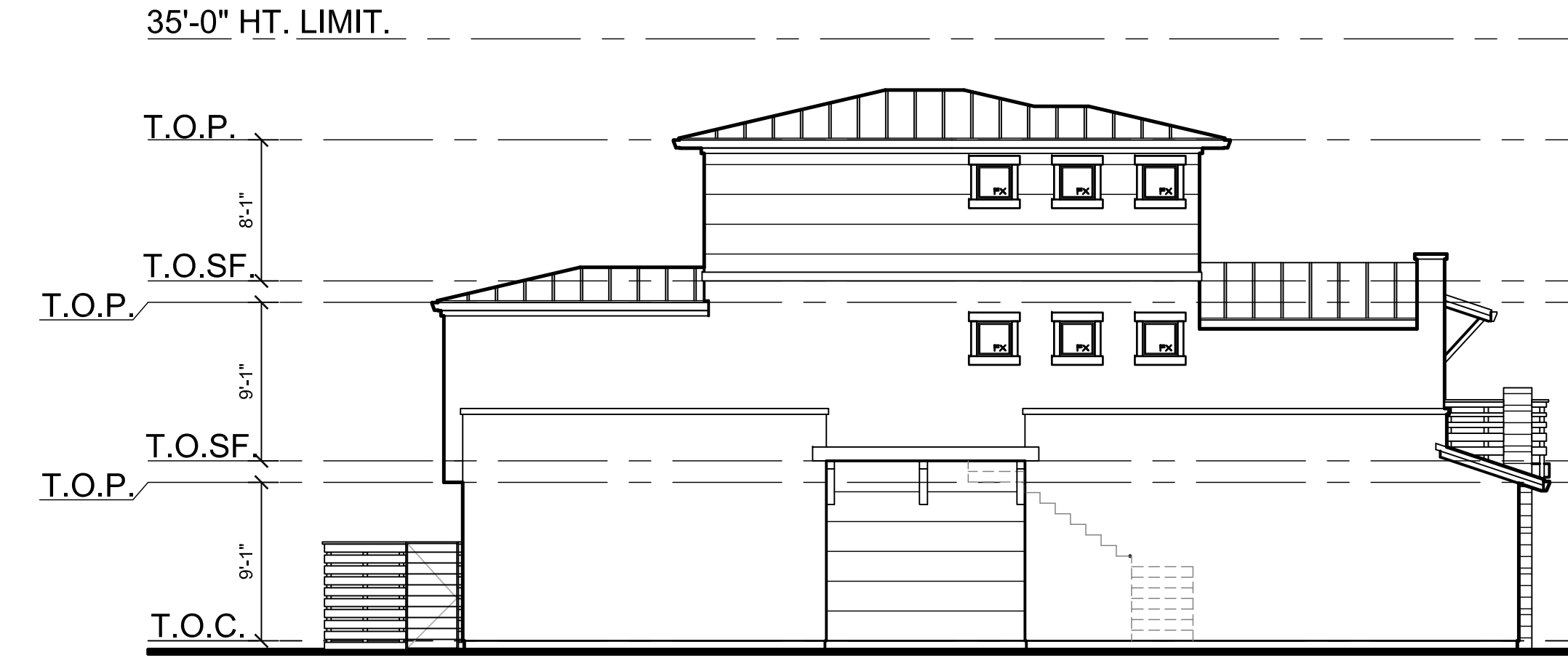
PLAN 1 - SOUTH ELEVATION A



PLAN 1 - EAST ELEVATION A



PLAN 1 - NORTH ELEVATION B



PLAN 1 - NORTH ELEVATION A

- LEGEND**
 T.O.R. - TOP OF ROOF
 T.O.P. - TOP OF PLATE
 T.O.SF. - TOP OF SUB FLOOR
 T.O.C. - TOP OF CONCRETE

- MATERIAL**
 1. PAINTED STUCCO
 2. FAUX STONE VENEER
 3. ASPHALT SHINGLE ROOF
 4. METAL ROOF
 5. LAP CEMENT SIDING
 6. WOOD FENCE
 7. CABLE RAILING
 8. WOOD RAILING
 9. SMOOTH PANEL SIDING W/ 1/2" ALUMINUM REVEAL
 10. ILLUMINATED ADDRESS
 11. SHADE ELEMENT
 12. LOW WALL

567 - 595 MAYBELL AVENUE
 PALO ALTO, CALIFORNIA

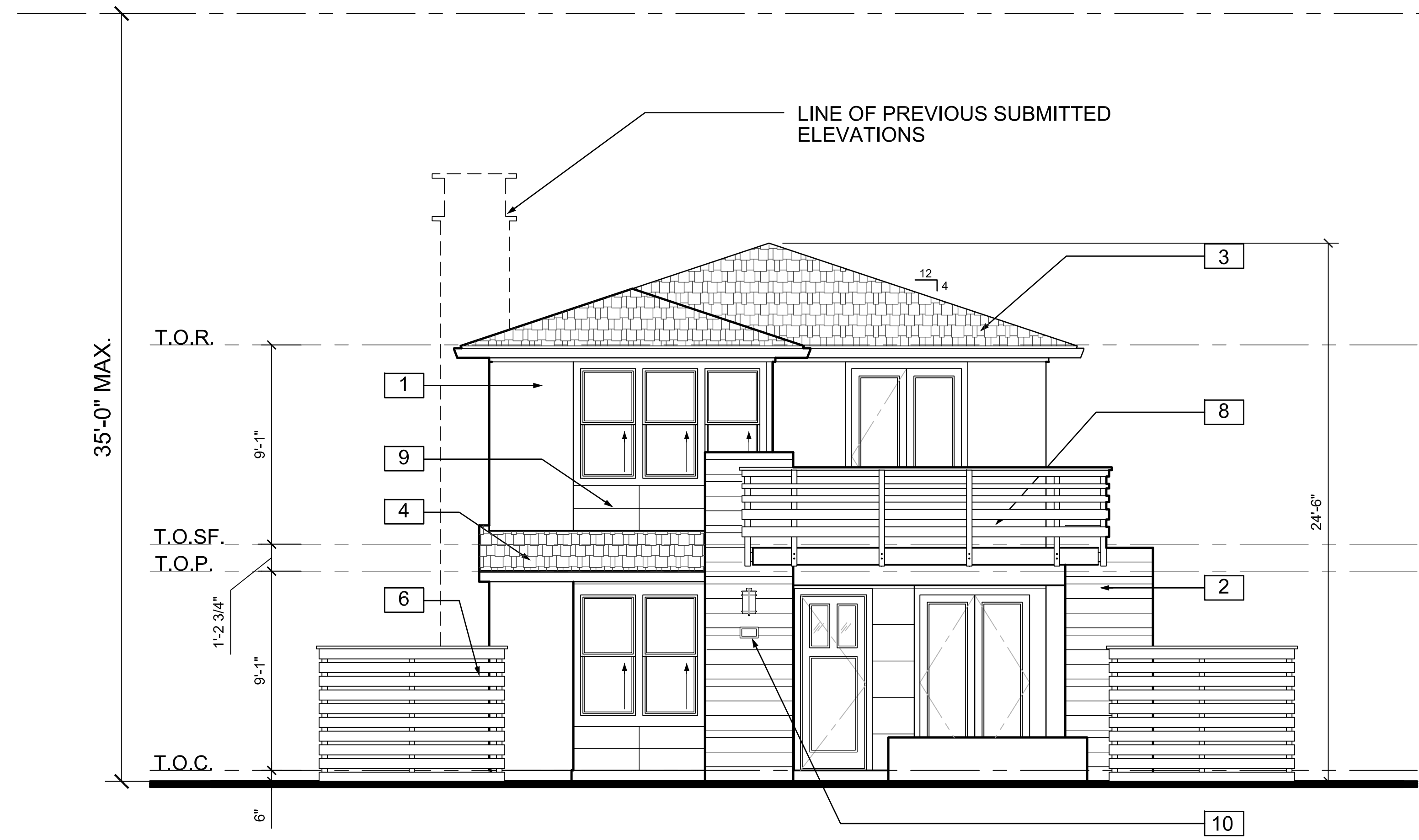
SINGLE FAMILY
 PLAN 1A & 1B
 ELEVATIONS
 SCALE: 1/4" & 1/8" = 1'-0"

JOB NO. 1124-001
DATE 04-15-13



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A3.2



PLAN 1-ELEVATION C

35'-0" HT. LIMIT.



PLAN 1 - SOUTH ELEVATION C

35'-0" HT. LIMIT.



PLAN 1 - EAST ELEVATION C

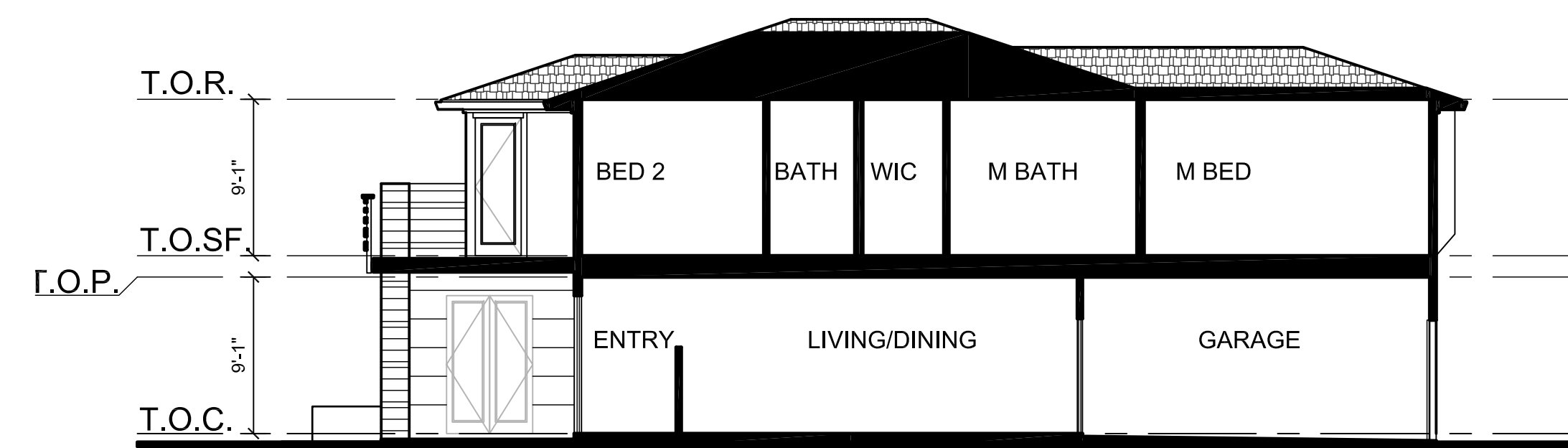
LEGEND

- T.O.R. - TOP OF ROOF
- T.O.P. - TOP OF PLATE
- T.O.S.F. - TOP OF SUB FLOOR
- T.O.C. - TOP OF CONCRETE

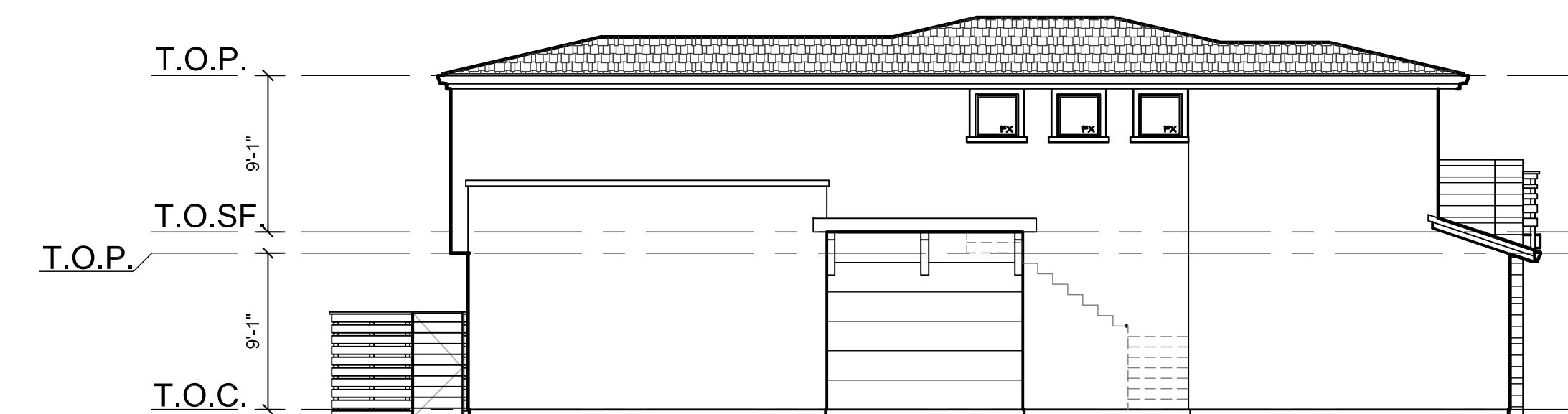
MATERIAL

- 1. PAINTED STUCCO
- 2. FAUX STONE VENEER
- 3. ASPHALT SHINGLE ROOF
- 4. METAL ROOF
- 5. LAP CEMENT SIDING
- 6. WOOD FENCE
- 7. CABLE RAILING
- 8. WOOD RAILING
- 9. SMOOTH PANEL SIDING W/ 1/2" ALUMINUM REVEAL
- 10. ILLUMINATED ADDRESS
- 11. SHADE ELEMENT
- 12. LOW WALL

35'-0" HT. LIMIT.



PLAN 1 - SECTION C

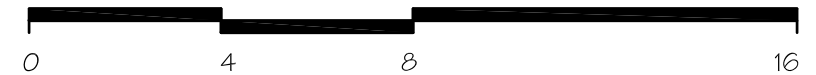


PLAN 1 - NORTH ELEVATION C

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

SINGLE FAMILY
PLAN 1C-ELEVATIONS
& SECTION

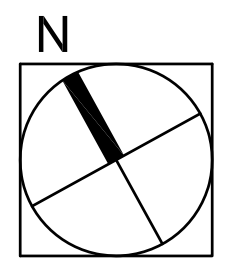
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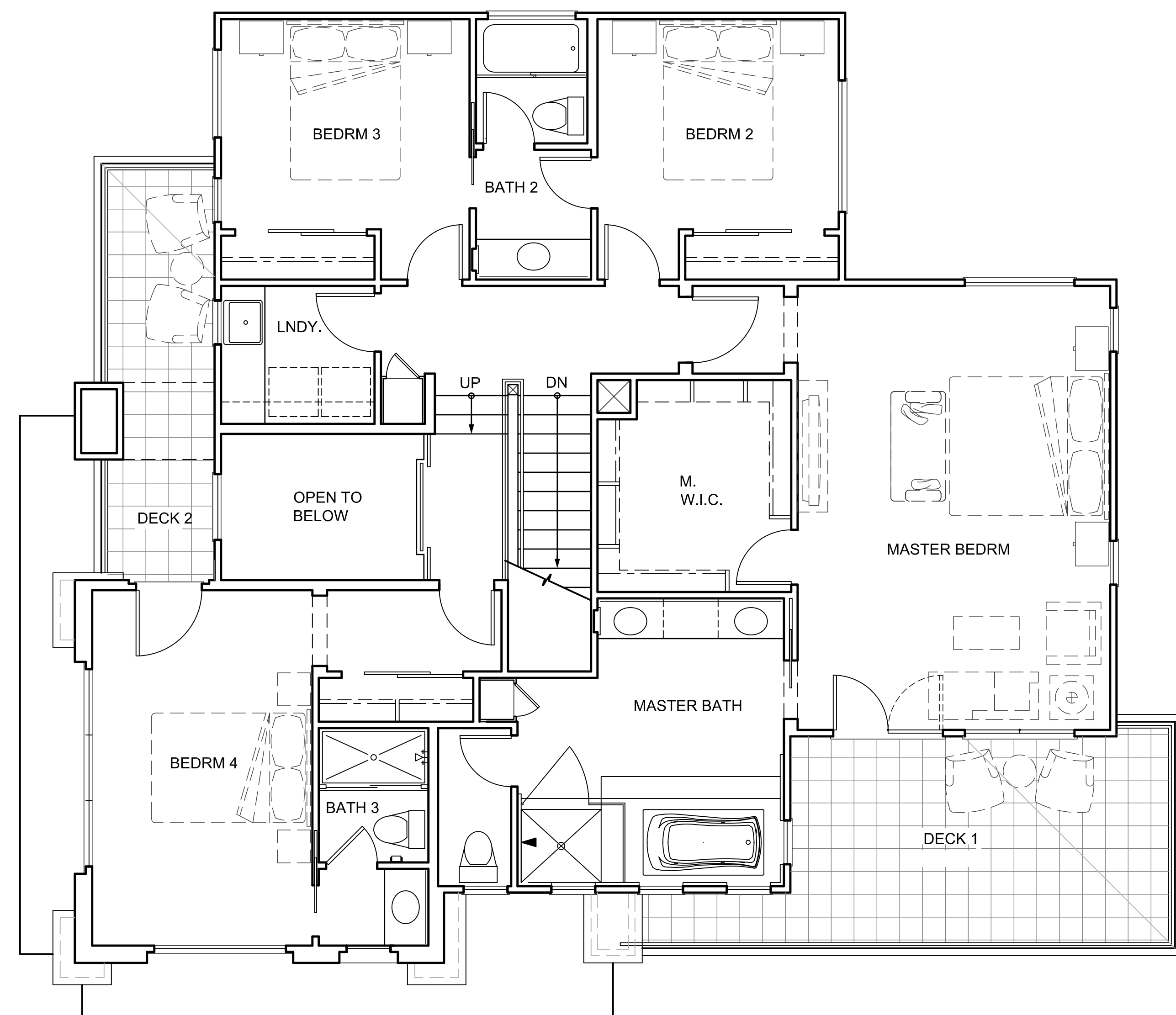
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DATE 04-15-13



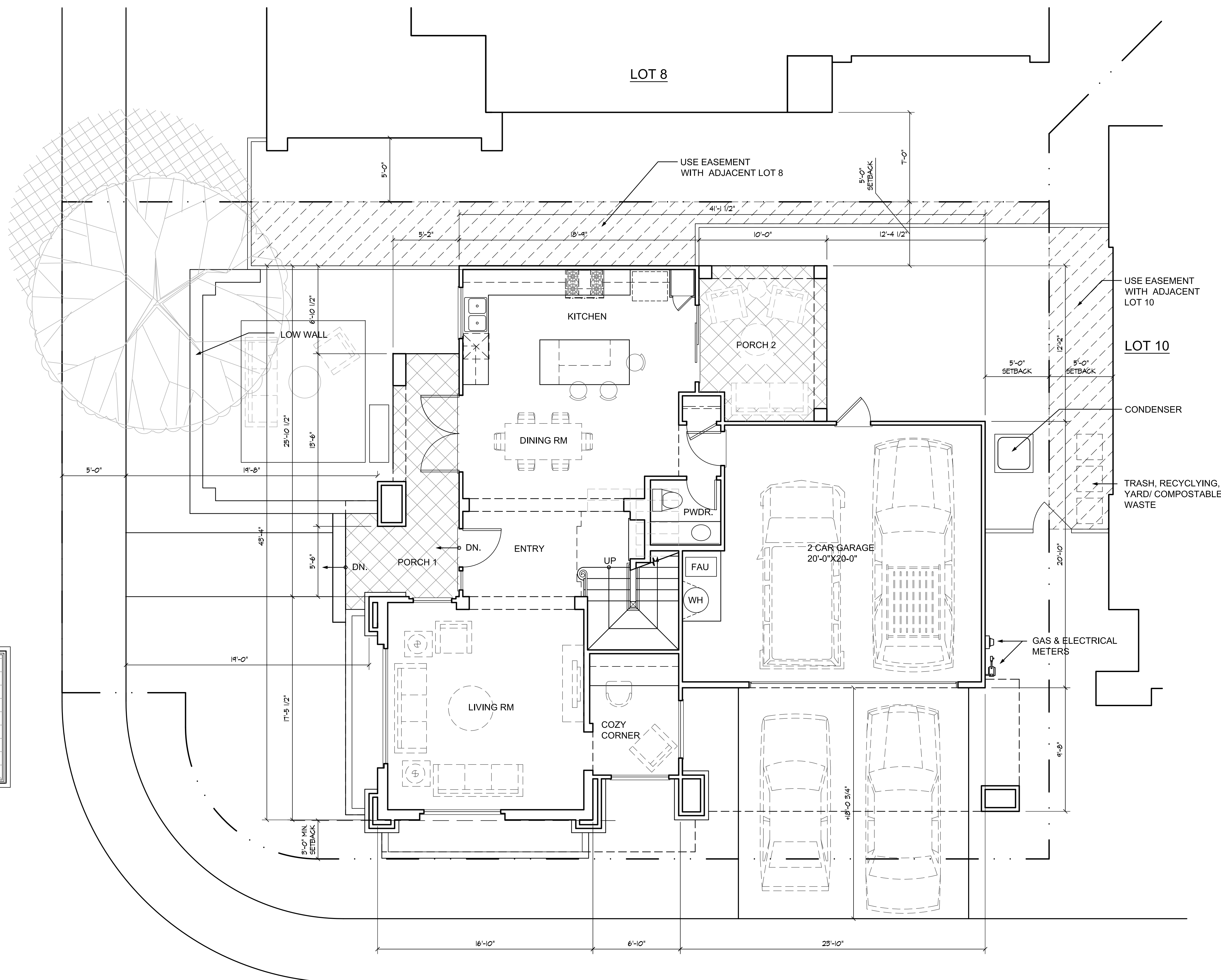
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925-251-7200



A3.3



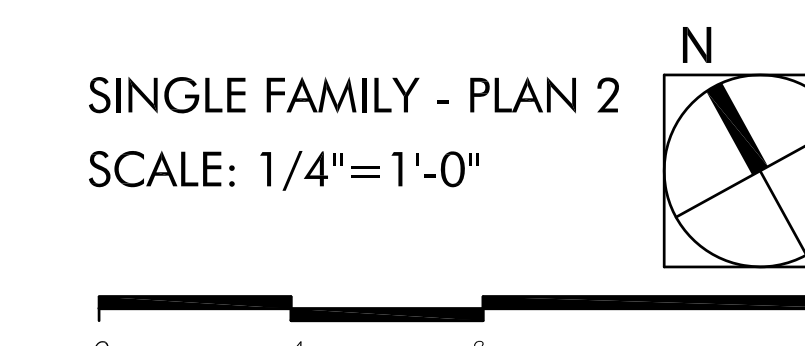
SECOND FLOOR - PLAN 2
1,420 SQ.FT.



FIRST FLOOR - PLAN 2 (LOT 9)
LIVING SPACE: 890 SQ.FT.
GARAGE: 460 SQ.FT.

PLAN 2 AREAS

FIRST FLOOR:	890 SF	GARAGE:	460 SF
SECOND FLOOR:	1420 SF	PORCH 1:	117 SF
TOTAL LIVING:	2310 SF	PORCH 2:	128 SF
GARAGE:	460 SF	DECK 1:	201 SF
FLOOR AREA:	2770 SF	DECK 2:	102 SF
		TOTAL PRIVATE SPACES:	548 SF



SINGLE FAMILY - PLAN 2
SCALE: 1/4" = 1'-0"
JOB NO. 1124-001
DATE 04-15-13
5865 Owens Drive
Pleasanton, CA 94588
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A4.0

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

J:\1124\001-Maybell_Ave\Arch\Plot\SD\1124001_A4-0.dwg, 4/15/2013 3:25:15 PM, mhday



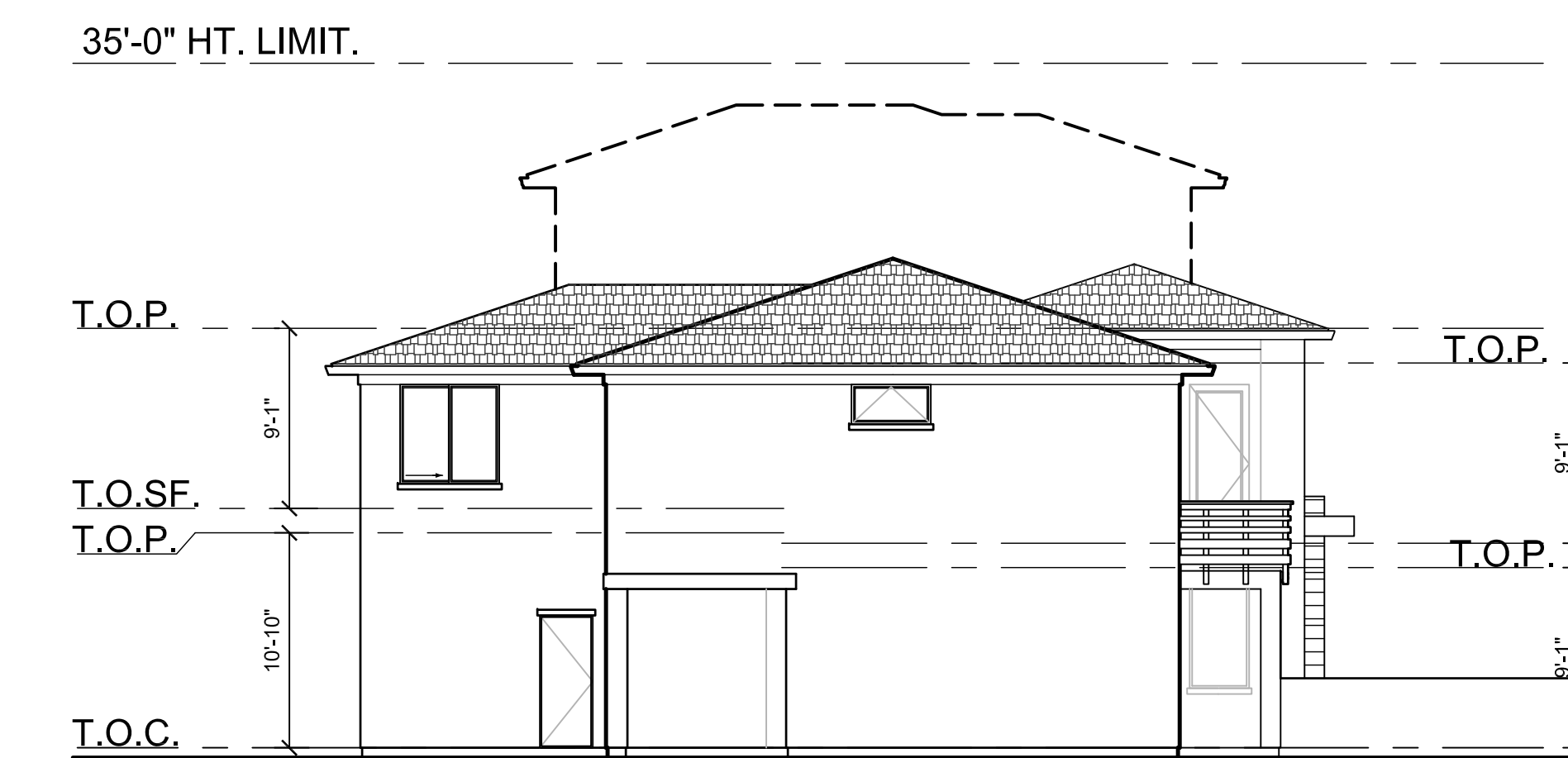
PLAN 2-ELEVATION @ CLEMO AVENUE



PLAN 2 - ELEVATION @ MAYBELL AVENUE

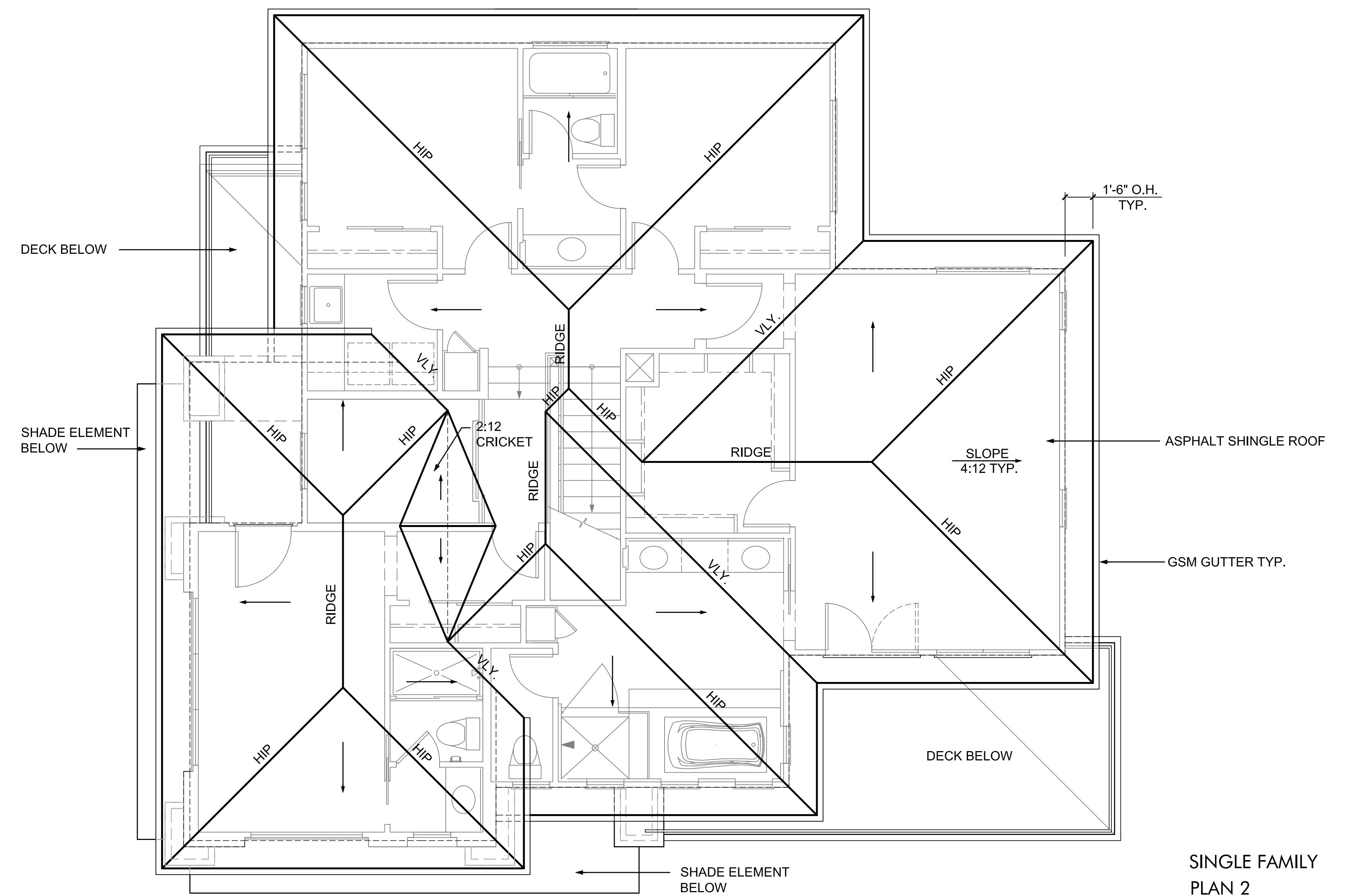


PLAN 2 - EAST ELEVATION



PLAN 2 - NORTH ELEVATION

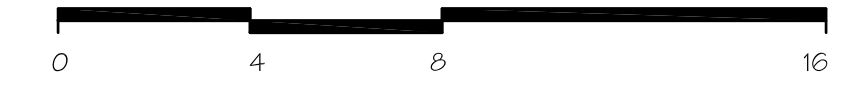
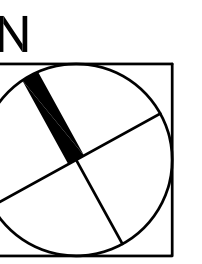
- LEGEND**
 T.O.R. - TOP OF ROOF
 T.O.P. - TOP OF PLATE
 T.O.S.F. - TOP OF SUB FLOOR
 T.O.C. - TOP OF CONCRETE
- MATERIAL**
 1. PAINTED STUCCO
 2. FAUX STONE VENEER
 3. ASPHALT SHINGLE ROOF
 4. METAL ROOF
 5. LAP CEMENT SIDING
 6. WOOD FENCE
 7. CABLE RAILING
 8. WOOD RAILING
 9. SMOOTH PANEL SIDING W/ 1/2" ALUMINUM REVEAL
 10. ILLUMINATED ADDRESS
 11. SHADE ELEMENT
 12. LOW WALL



PLAN 2 ROOF PLAN

567 - 595 MAYBELL AVENUE
 PALO ALTO, CALIFORNIA

SINGLE FAMILY
 PLAN 2
 ELEVATIONS & ROOF PLAN
 SCALE: 1/4" = 1'-0"

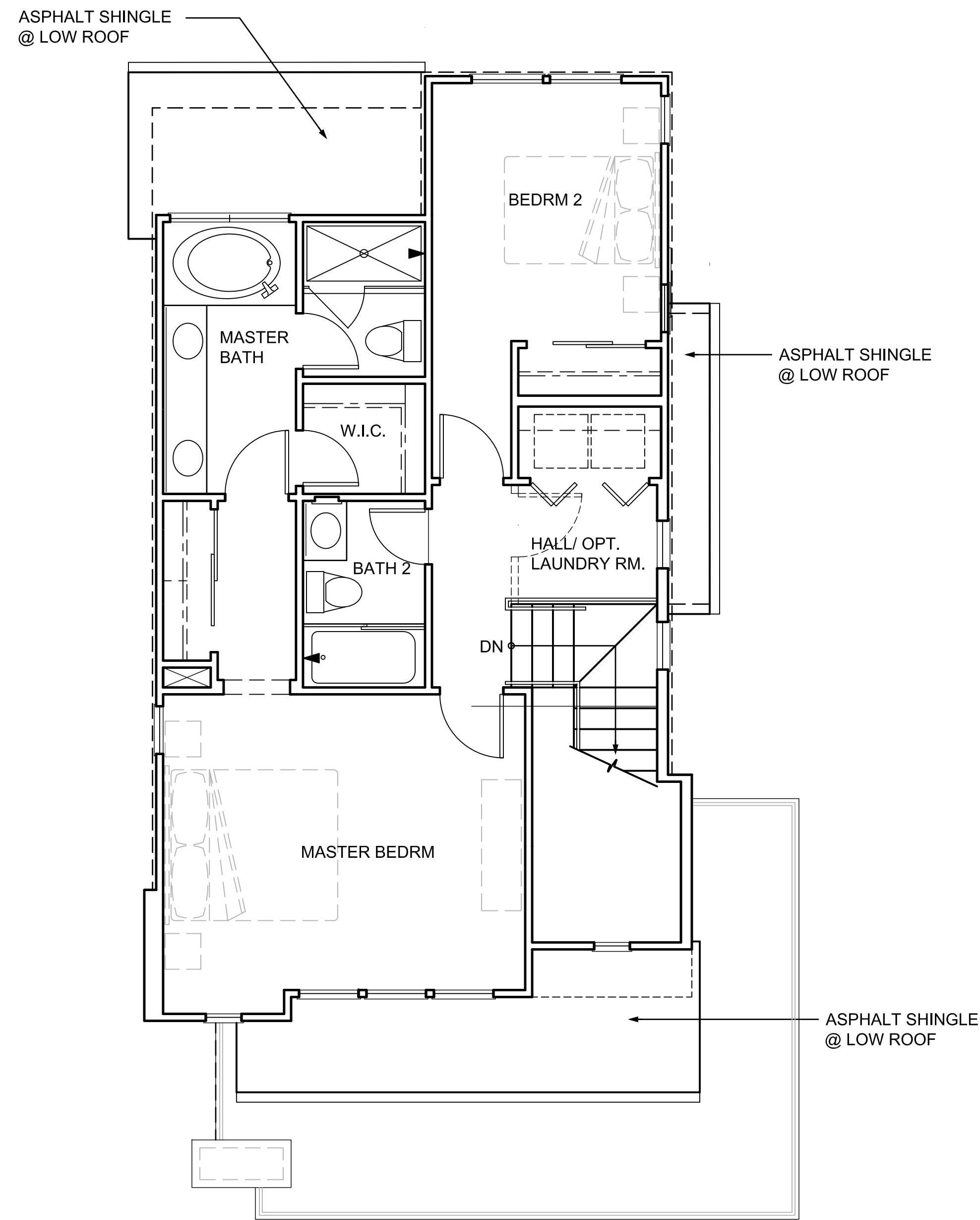


JOB NO. 1124-001
 DATE 04-15-13

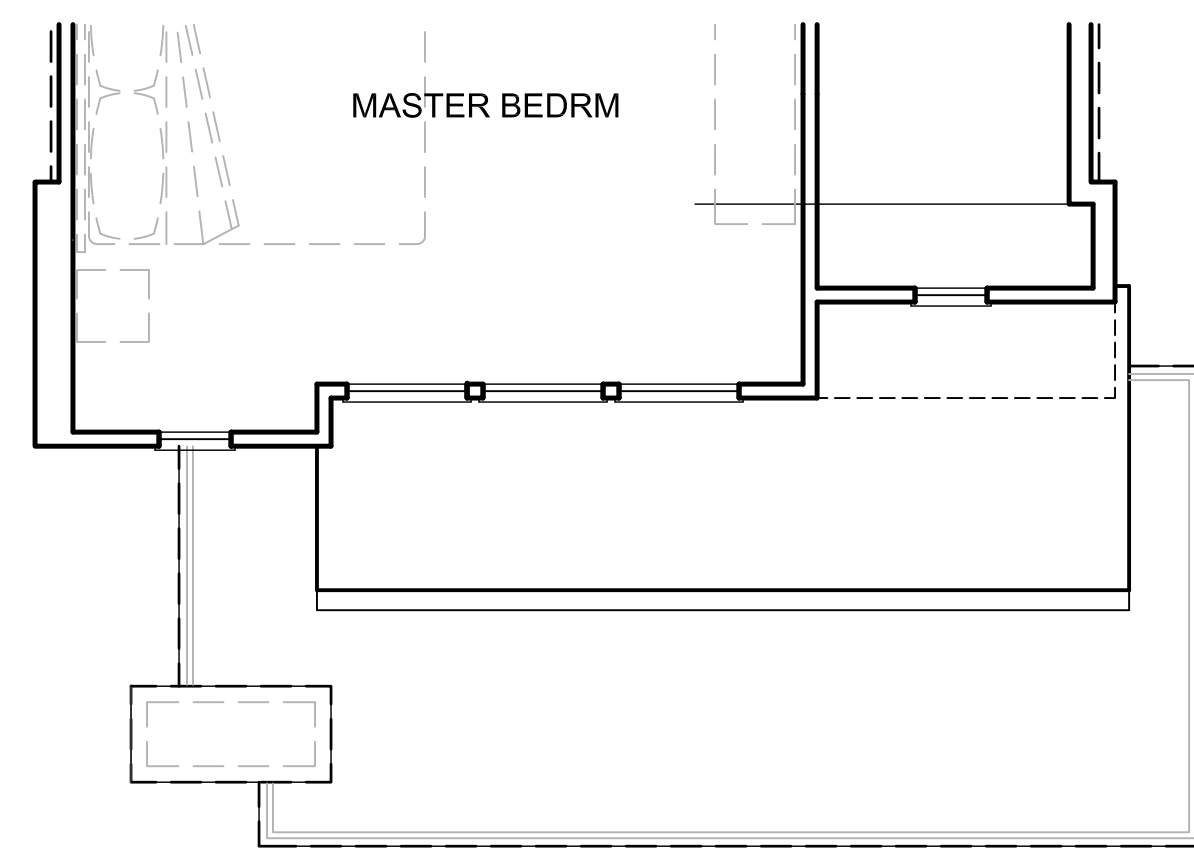


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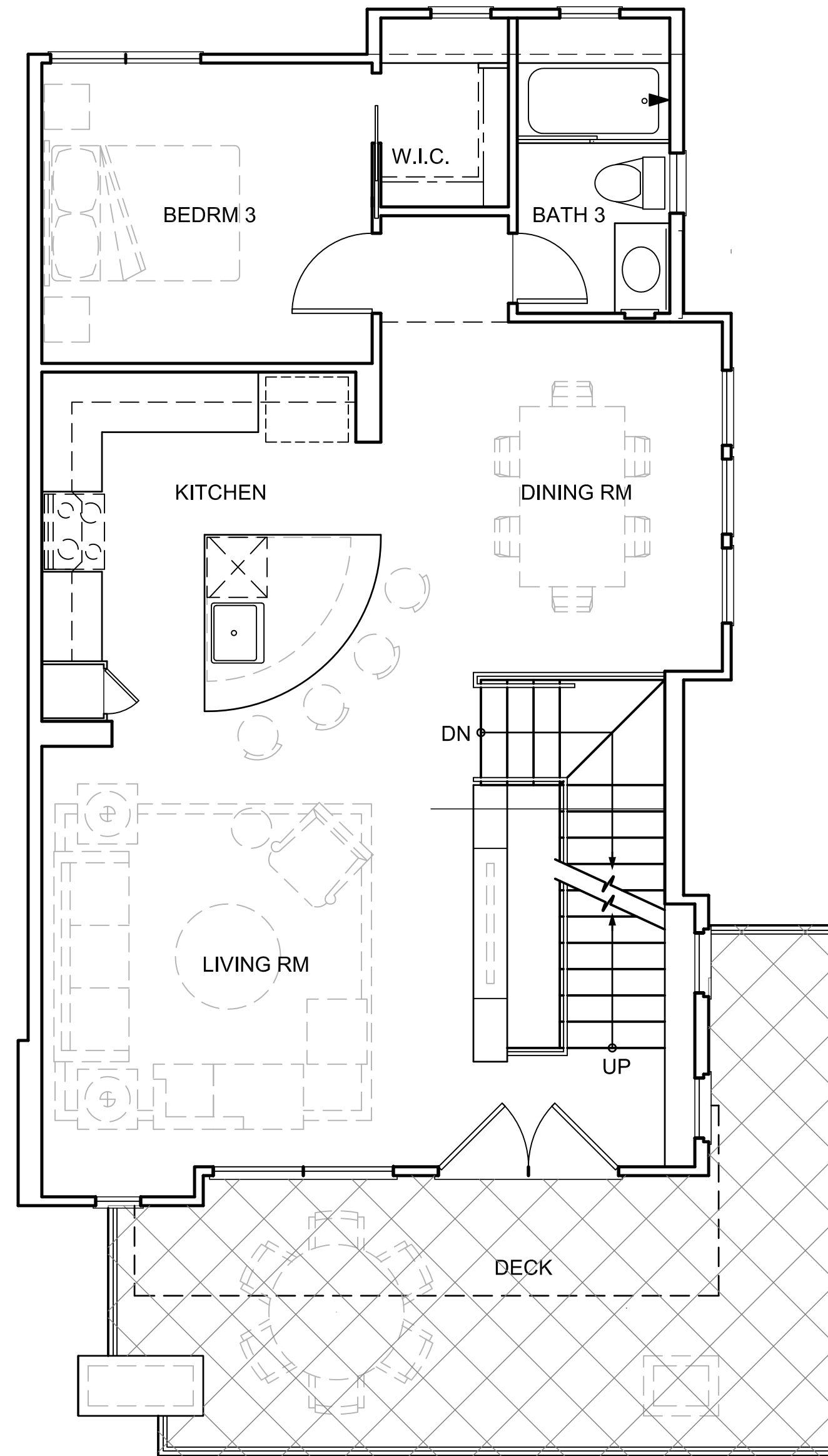
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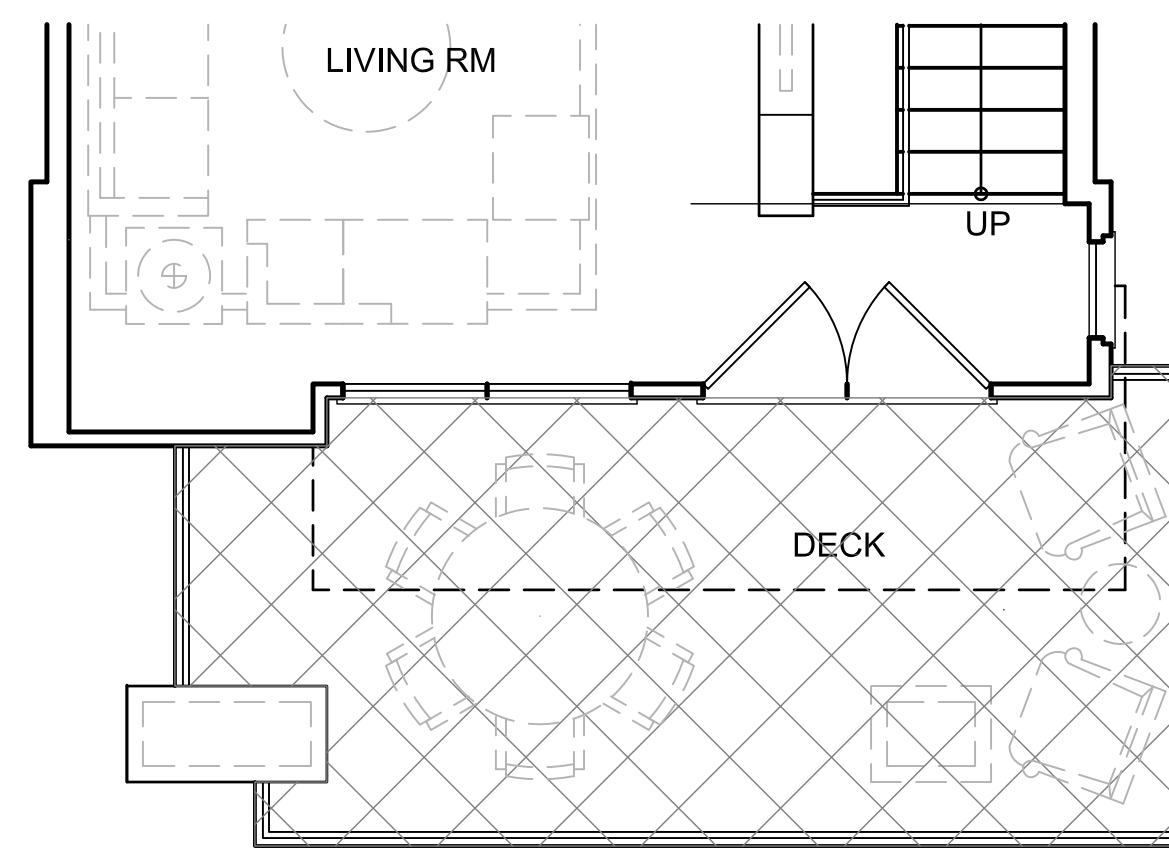
THIRD FLOOR PLAN 3C
685 SQ.FT.



THIRD FLOOR PLAN 3A
685 SQ.FT.



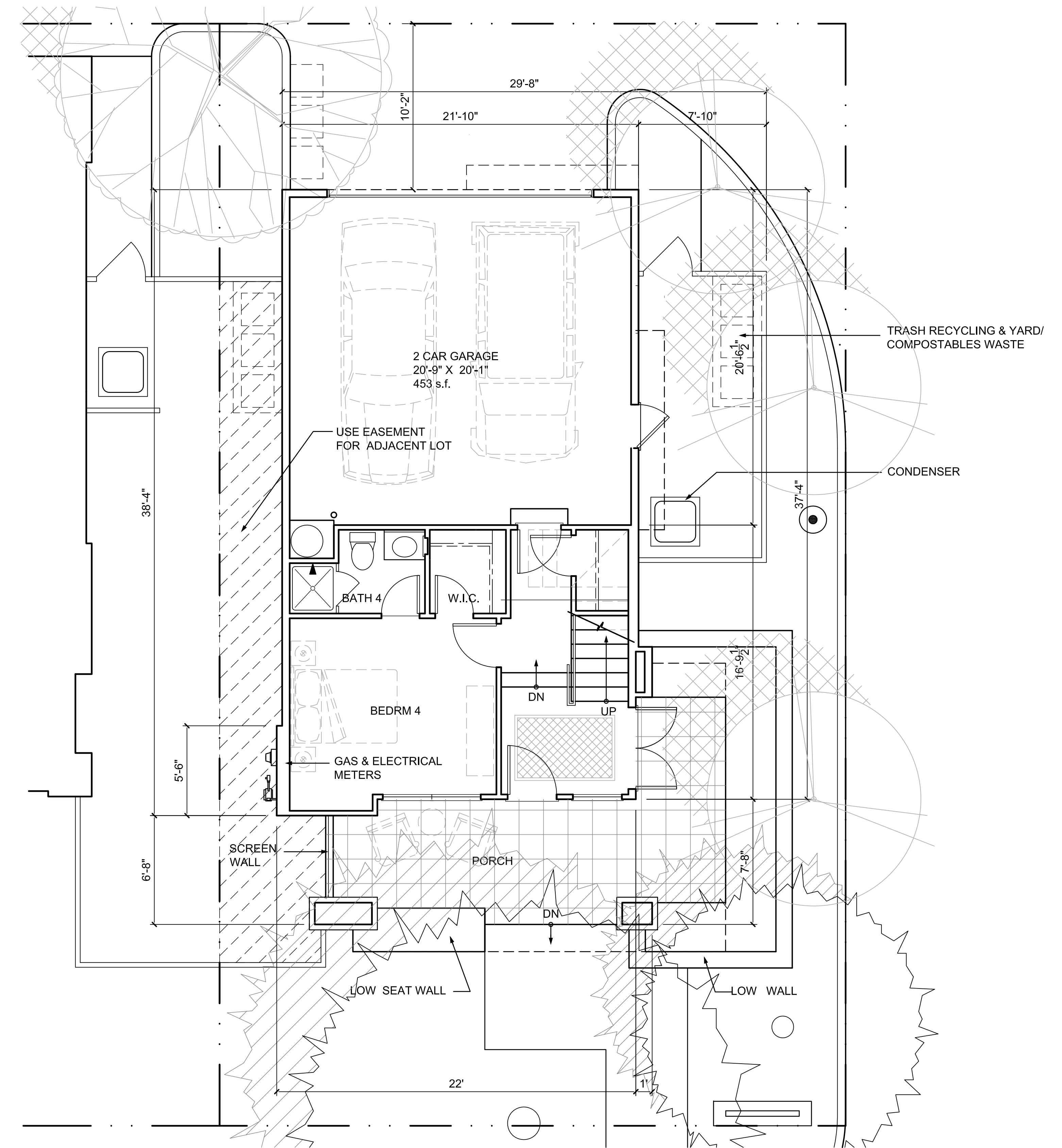
SECOND FLOOR PLAN 3C
798 SQ.FT.



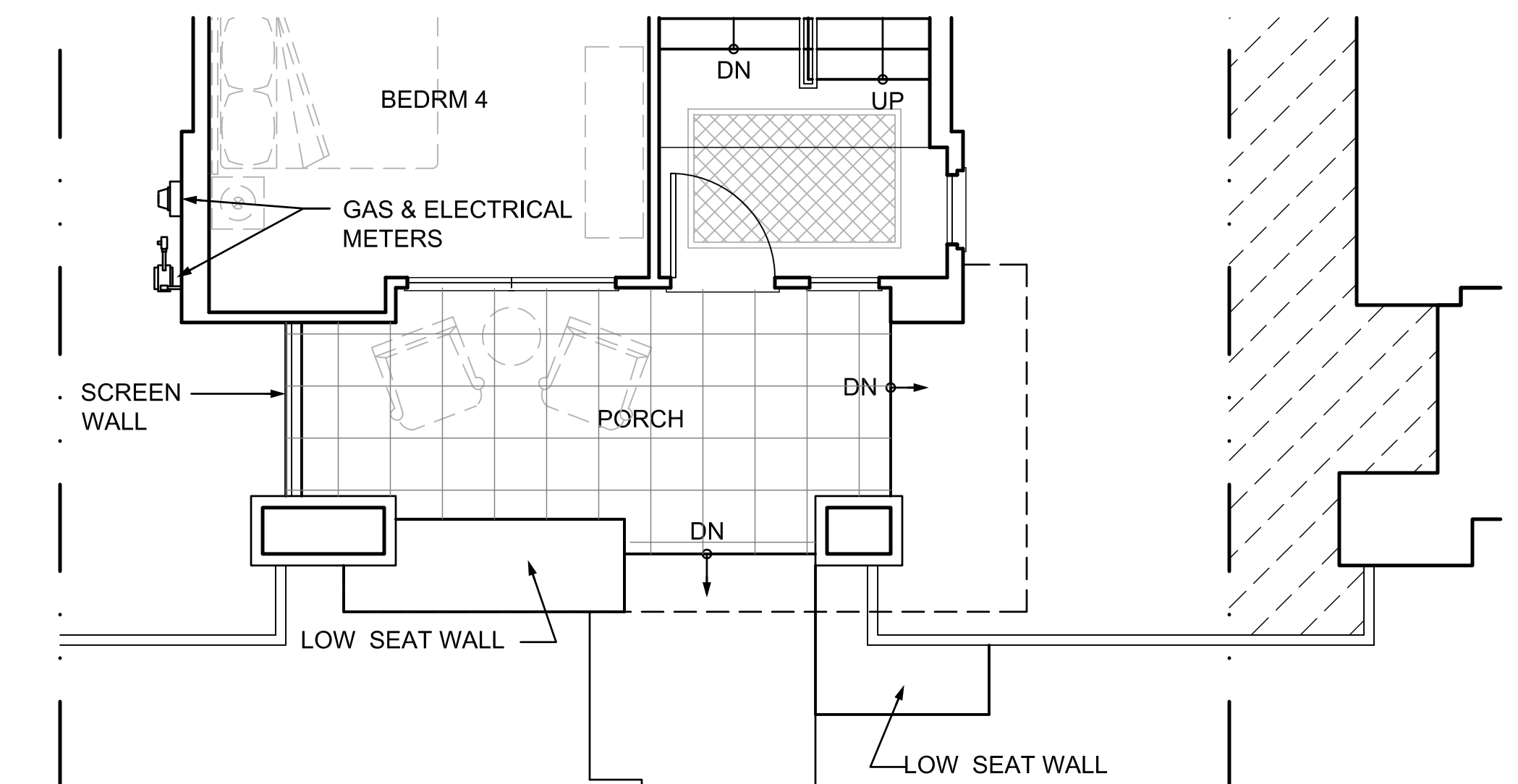
SECOND FLOOR PLAN 3A
792 SQ.FT.

PLAN 3A AREAS

FIRST FLOOR:	369 SF	GARAGE:	455 SF
SECOND FLOOR:	792 SF		
THIRD FLOOR:	685 SF	PORCH:	128 SF
TOTAL LIVING:	1846 SF	DECK - 2ND:	197 SF
GARAGE	455 SF	TOTAL PRIVATE SPACES:	325 SF
FLOOR AREA:	2301 SF		



FIRST FLOOR PLAN 3C (LOT 15) - EXTENDED PORCH
369 SQ.FT.

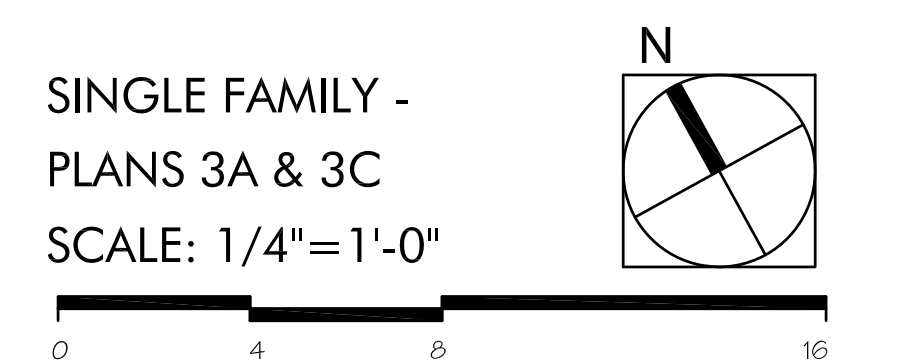


FIRST FLOOR PLAN 3A (LOTS 11 & 13)
369 SQ.FT.

PLAN 3C AREAS

FIRST FLOOR:	369 SF	GARAGE:	455 SF
SECOND FLOOR:	798 SF		
THIRD FLOOR:	685 SF	PORCH:	211 SF
TOTAL LIVING:	1852 SF	DECK - 2ND:	264 SF
GARAGE	455 SF	TOTAL PRIVATE SPACES:	475 SF
FLOOR AREA:	2307 SF		

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

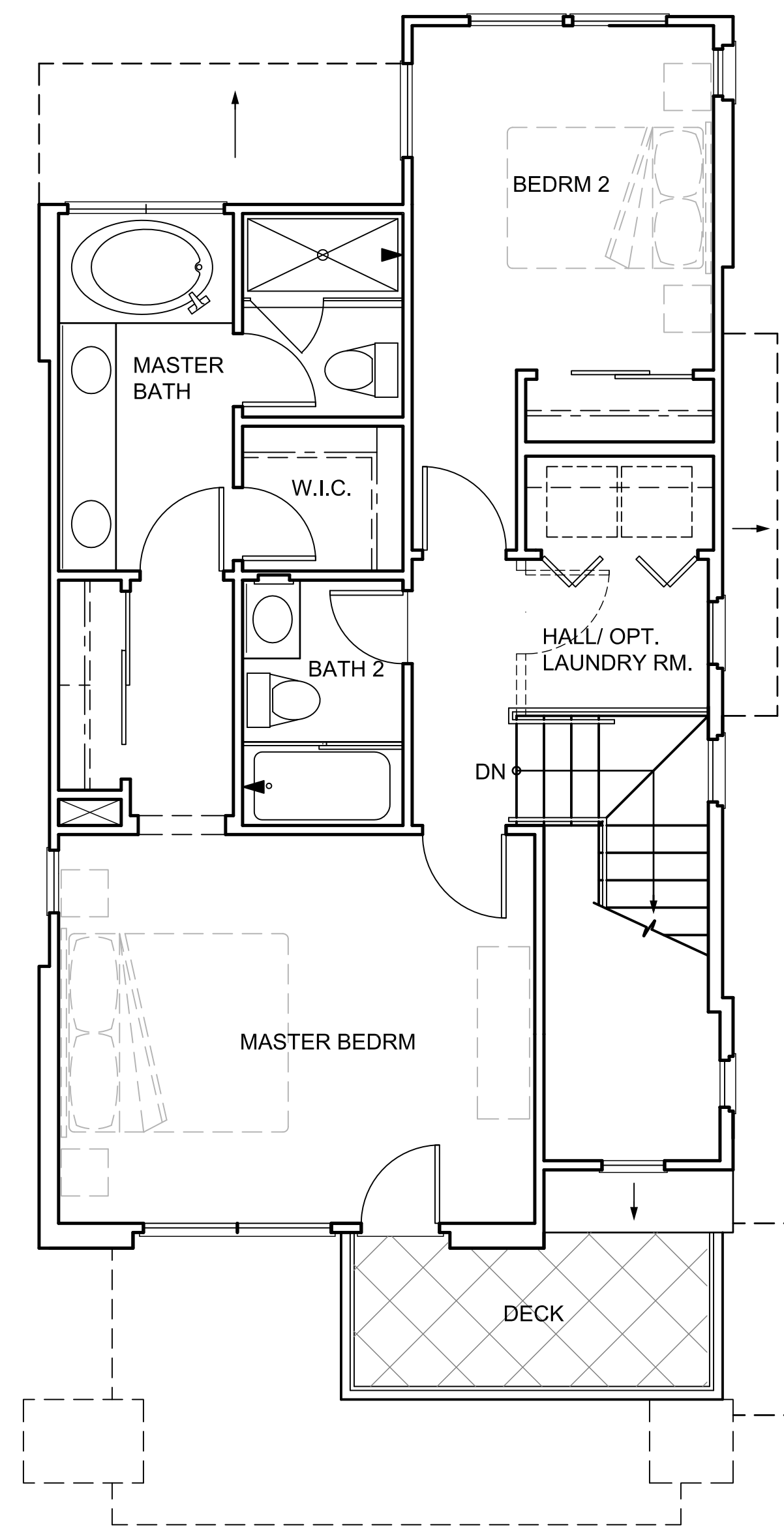


SINGLE FAMILY -
PLANS 3A & 3C
SCALE: 1/4"=1'-0"
JOB NO. 1124-001
DATE 04-15-13

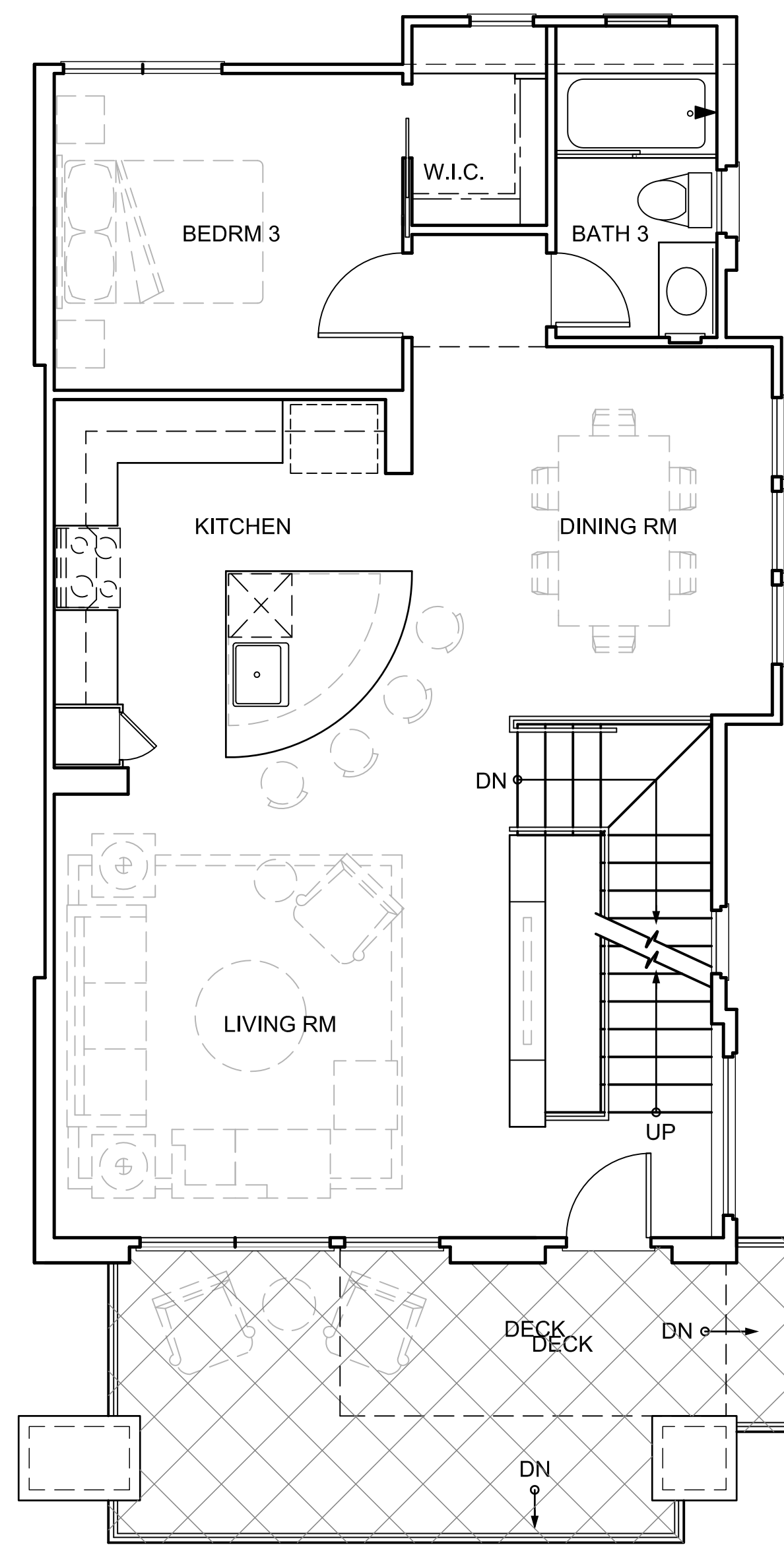


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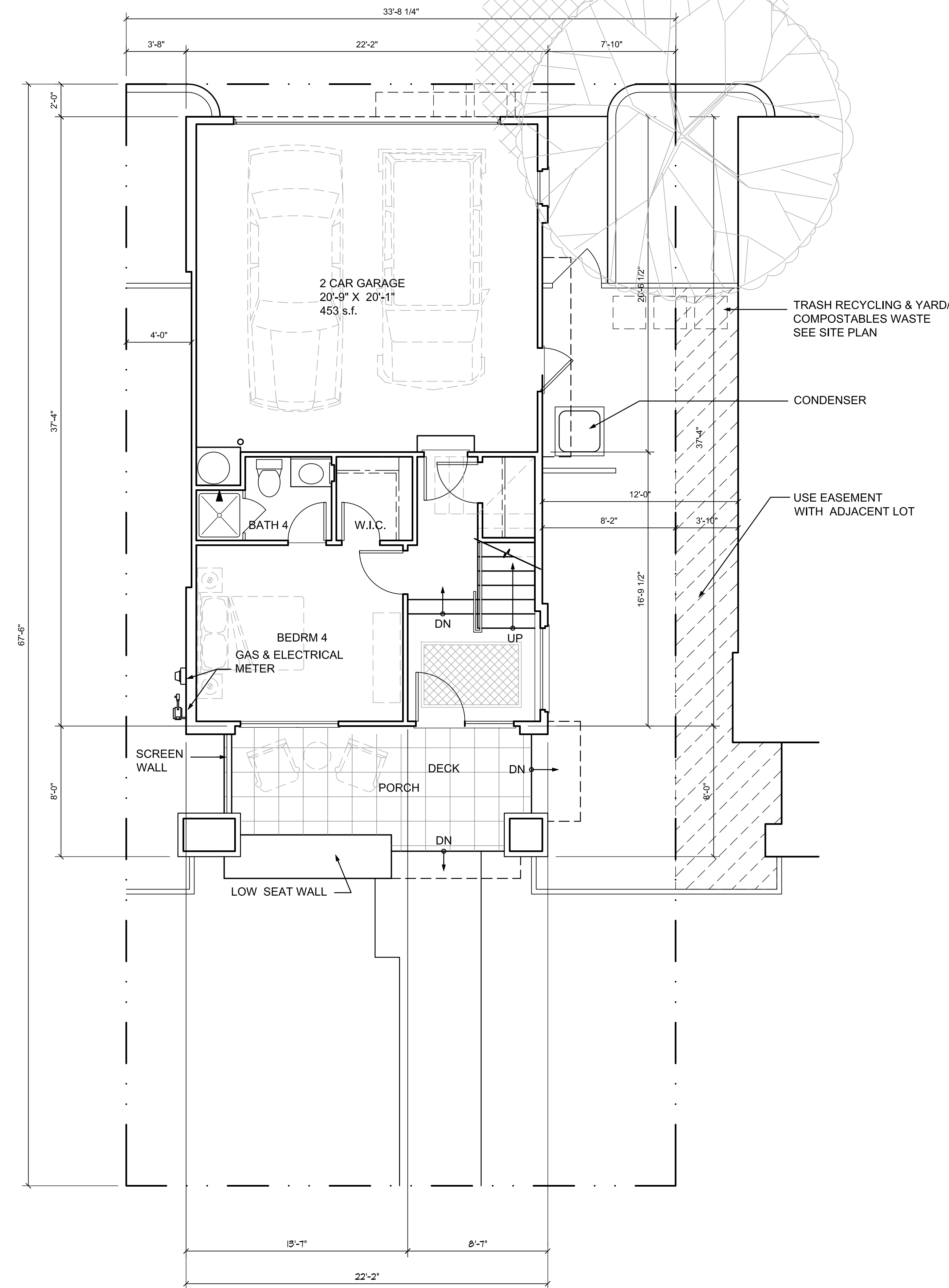
A5.0



THIRD FLOOR PLAN 3B
689 SQ.FT.



SECOND FLOOR PLAN 3B
768 SQ.FT.

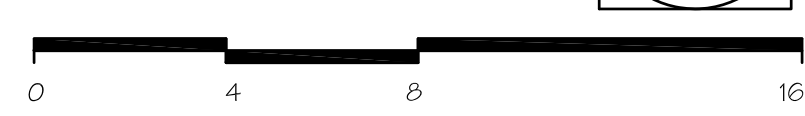
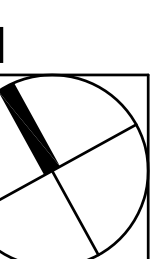


FIRST FLOOR - PLAN 3B (LOTS 10, 12, & 14)
LIVING SPACE: 365 SQ.FT.
GARAGE: 453 SQ.FT.

PLAN 3B AREAS

FIRST FLOOR:	365 SF	GARAGE:	453 SF
SECOND FLOOR:	786 SF	PORCH:	144 SF
THIRD FLOOR:	689 SF	DECK - 2ND:	200 SF
TOTAL LIVING:	1840 SF	DECK - 3RD:	64 SF
GARAGE:	453 SF	TOTAL PRIVATE SPACES:	408 SF
FLOOR AREA:	2293 SF		

SINGLE FAMILY - PLAN 3B
SCALE: 1/4" = 1'-0"



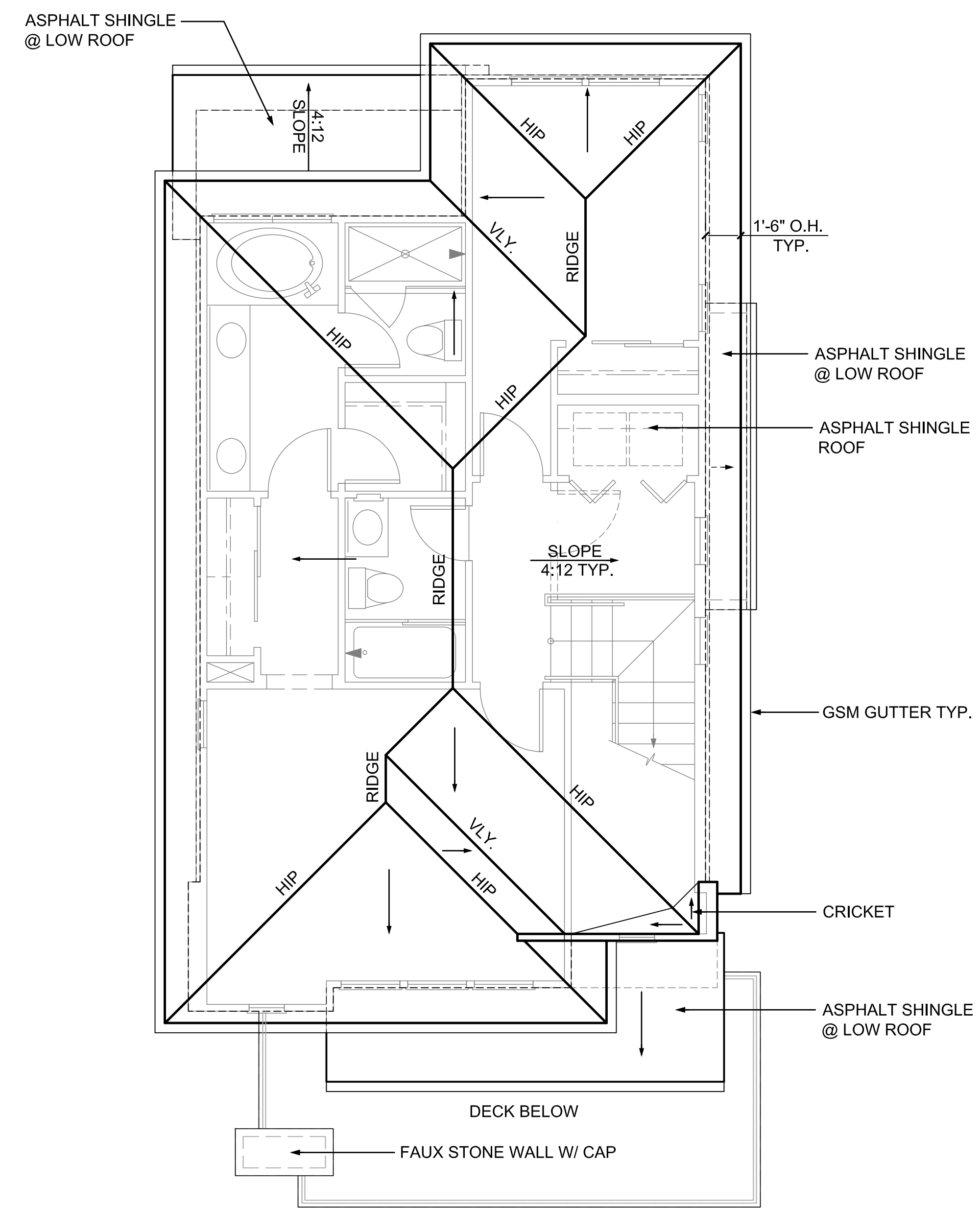
567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA



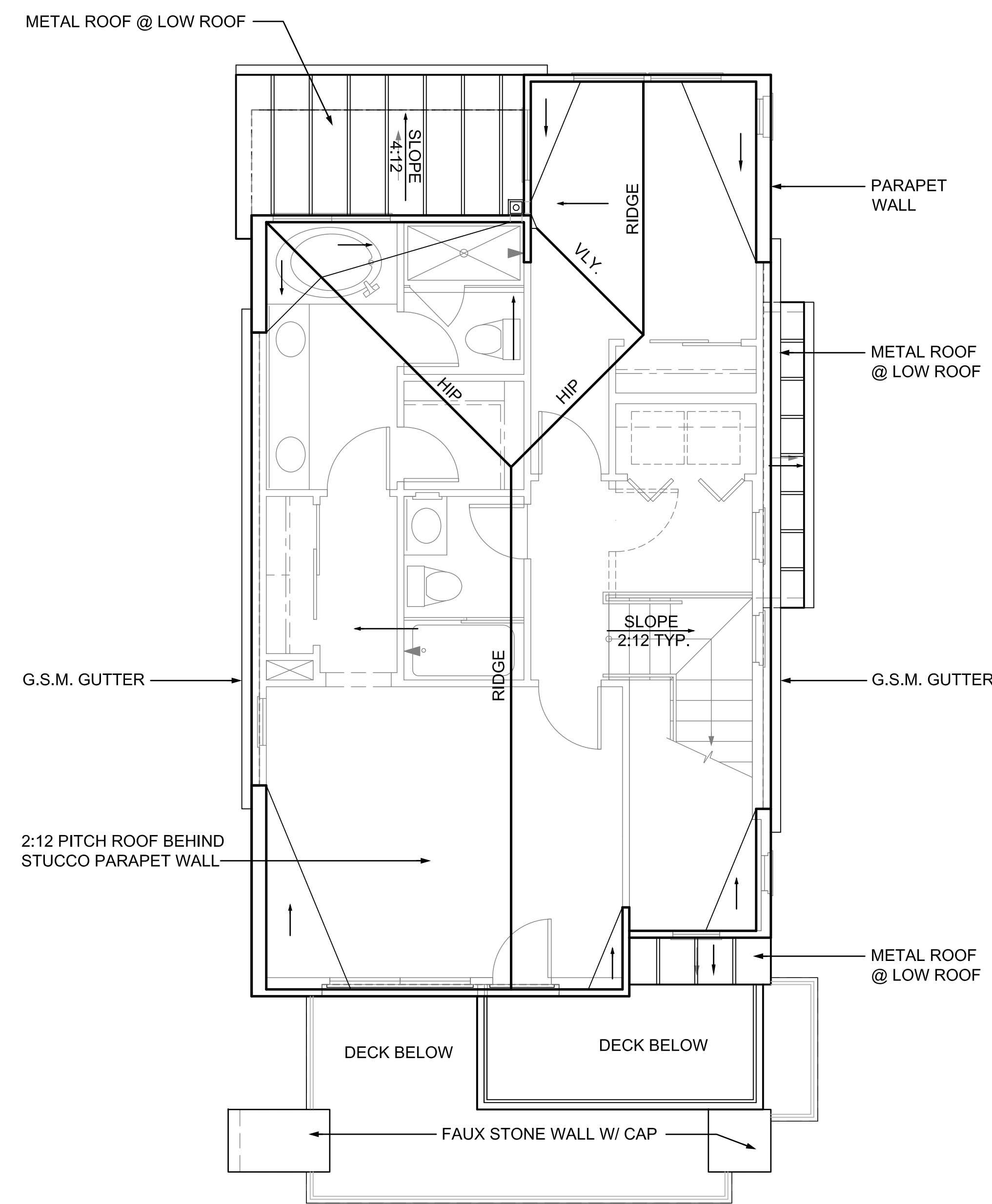
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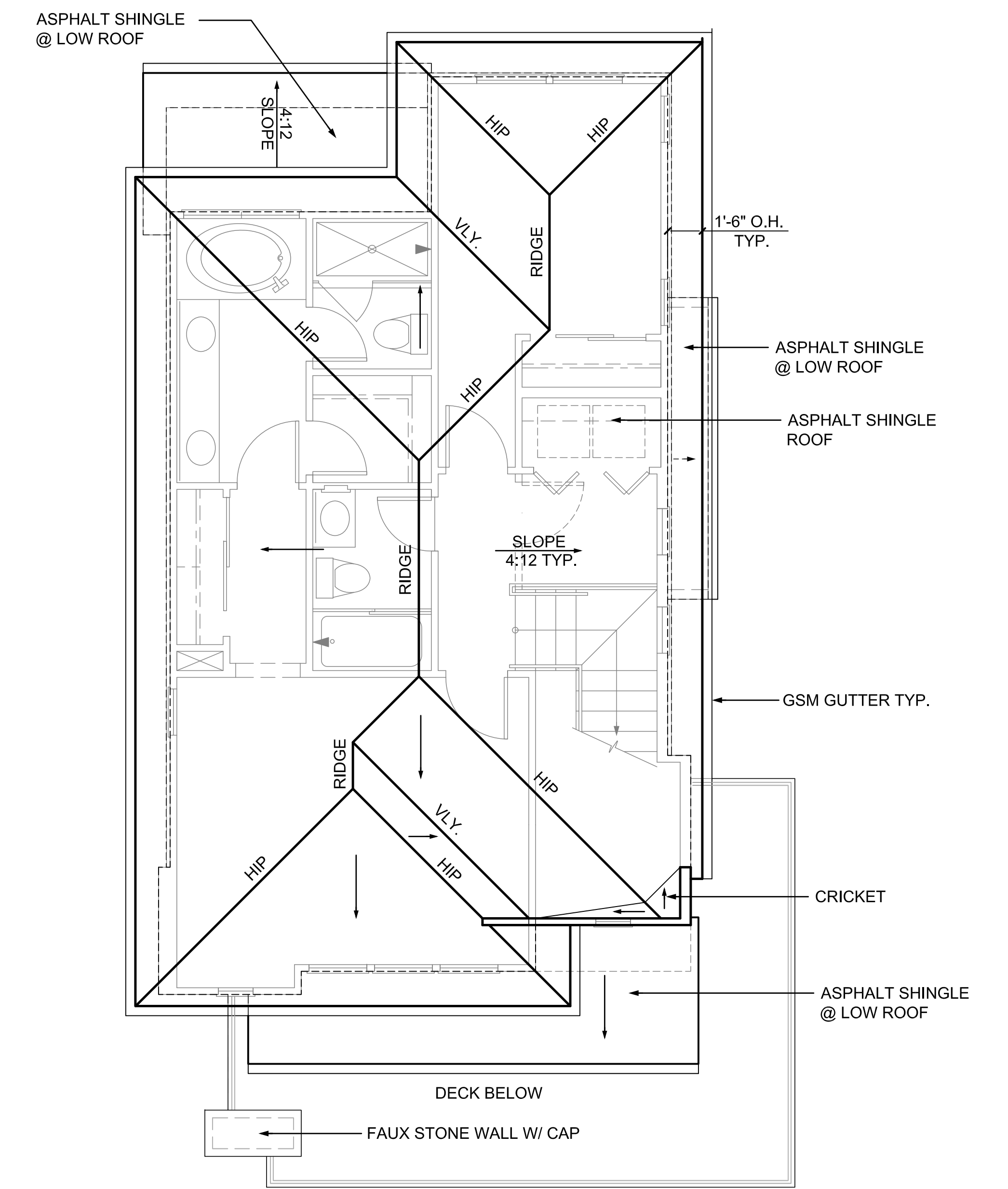
A5.1



PLAN 3A ROOF PLAN



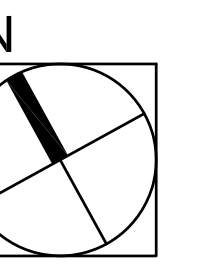
PLAN 3B ROOF PLAN



PLAN 3C ROOF PLAN

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

SINGLE FAMILY
PLAN 3 - ROOF PLANS
SCALE: 1/4"=1'-0"

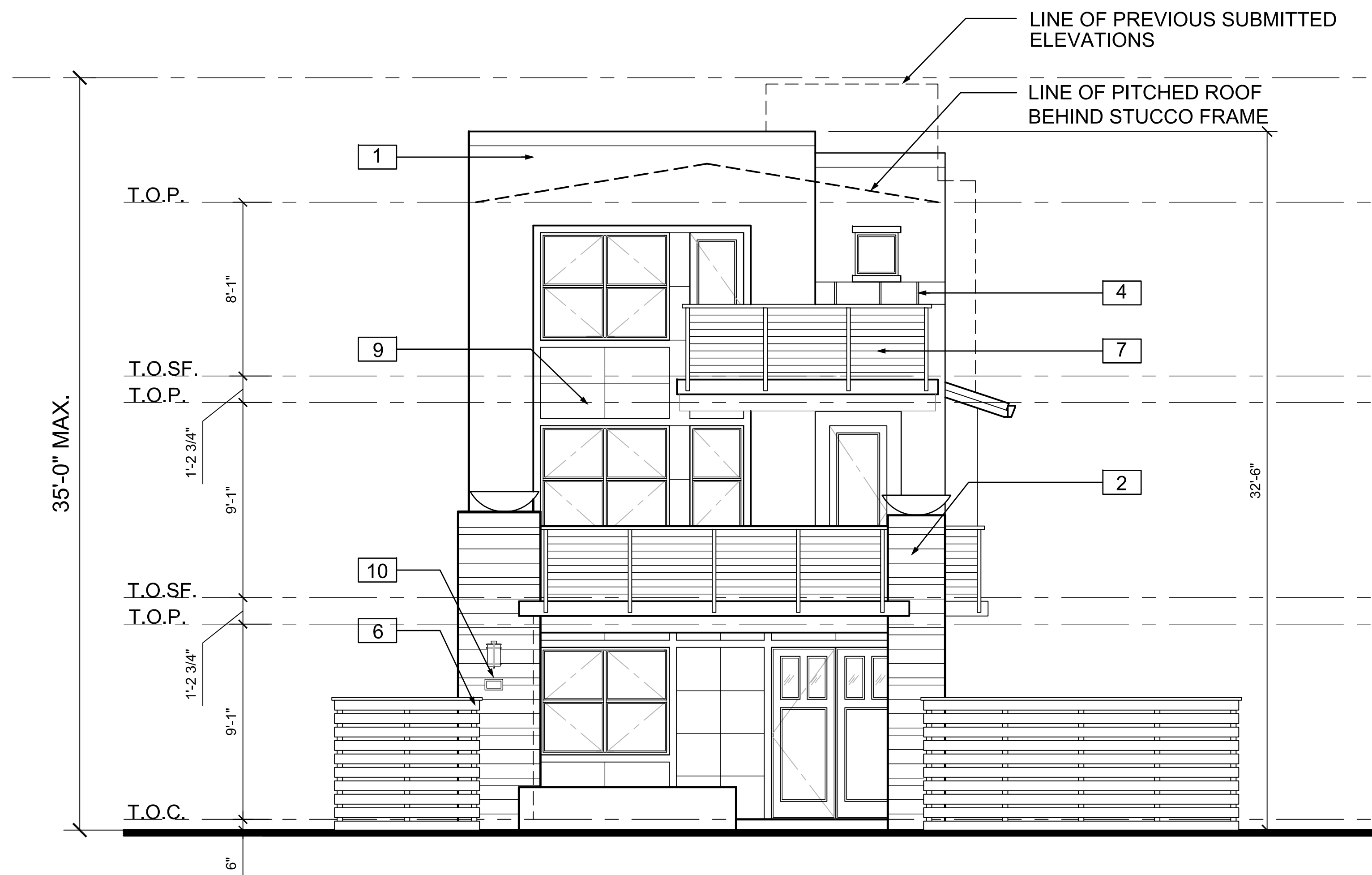


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DATE 04-15-13

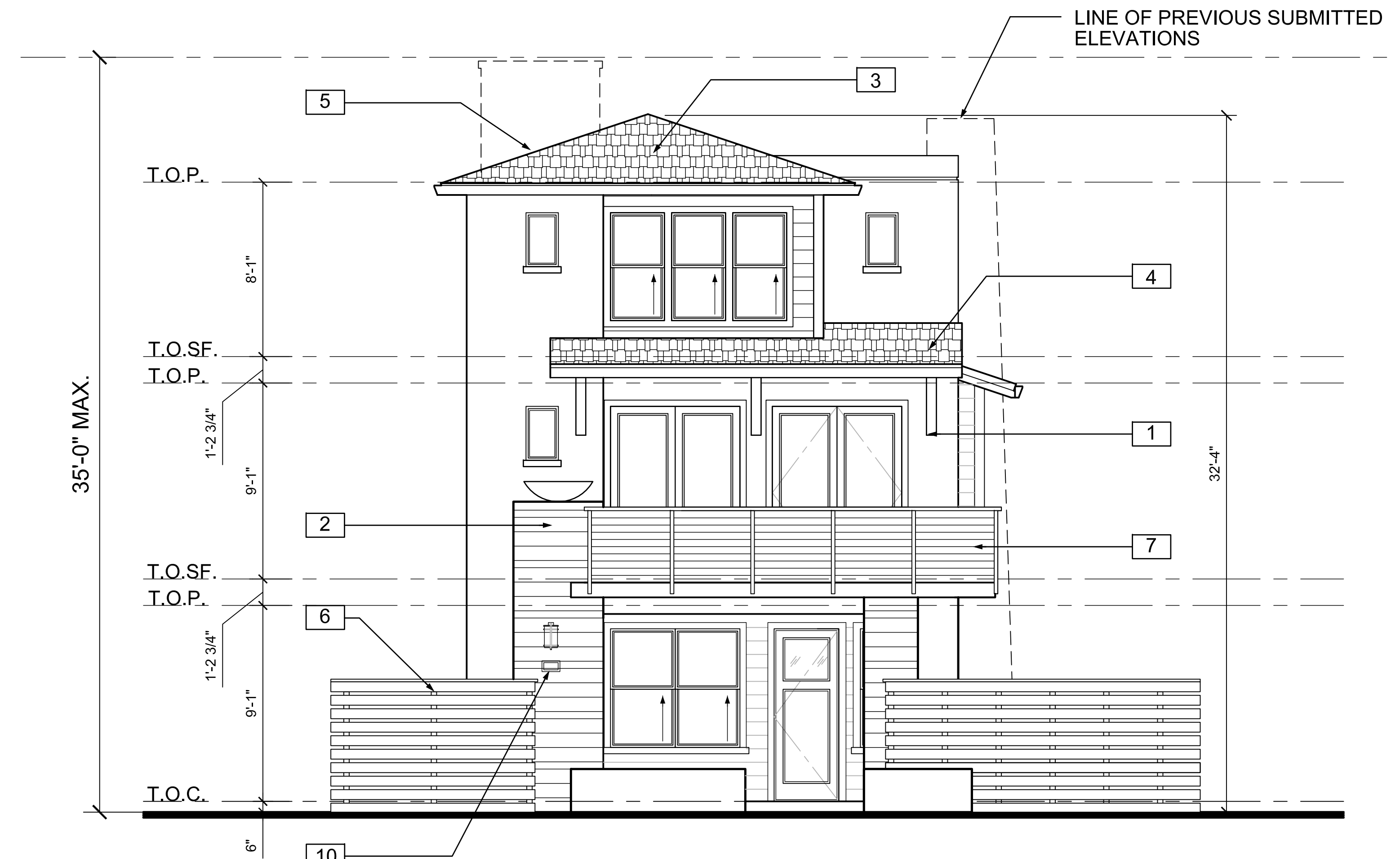


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A5.2



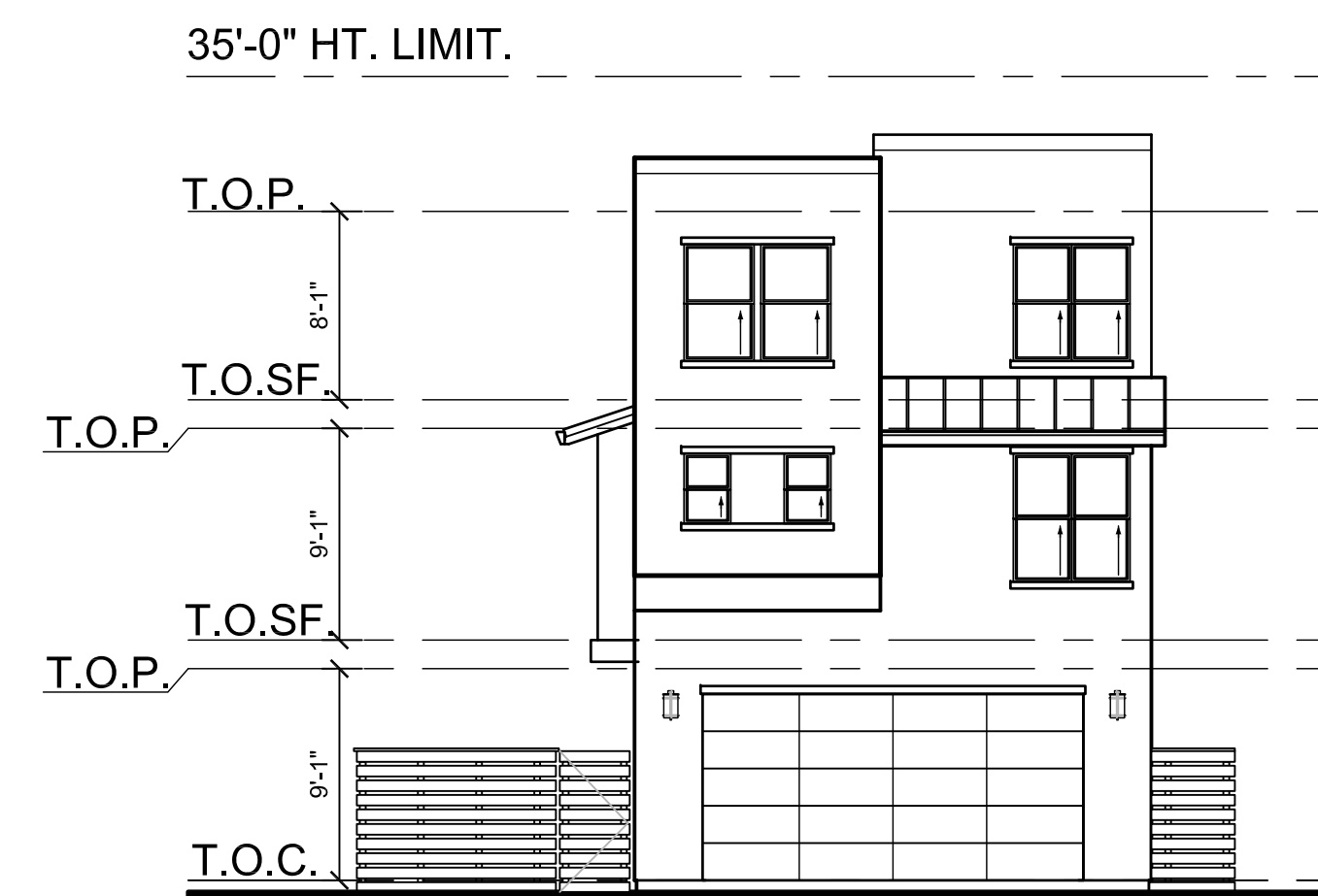
PLAN 3-ELEVATION B



PLAN 3-ELEVATION A



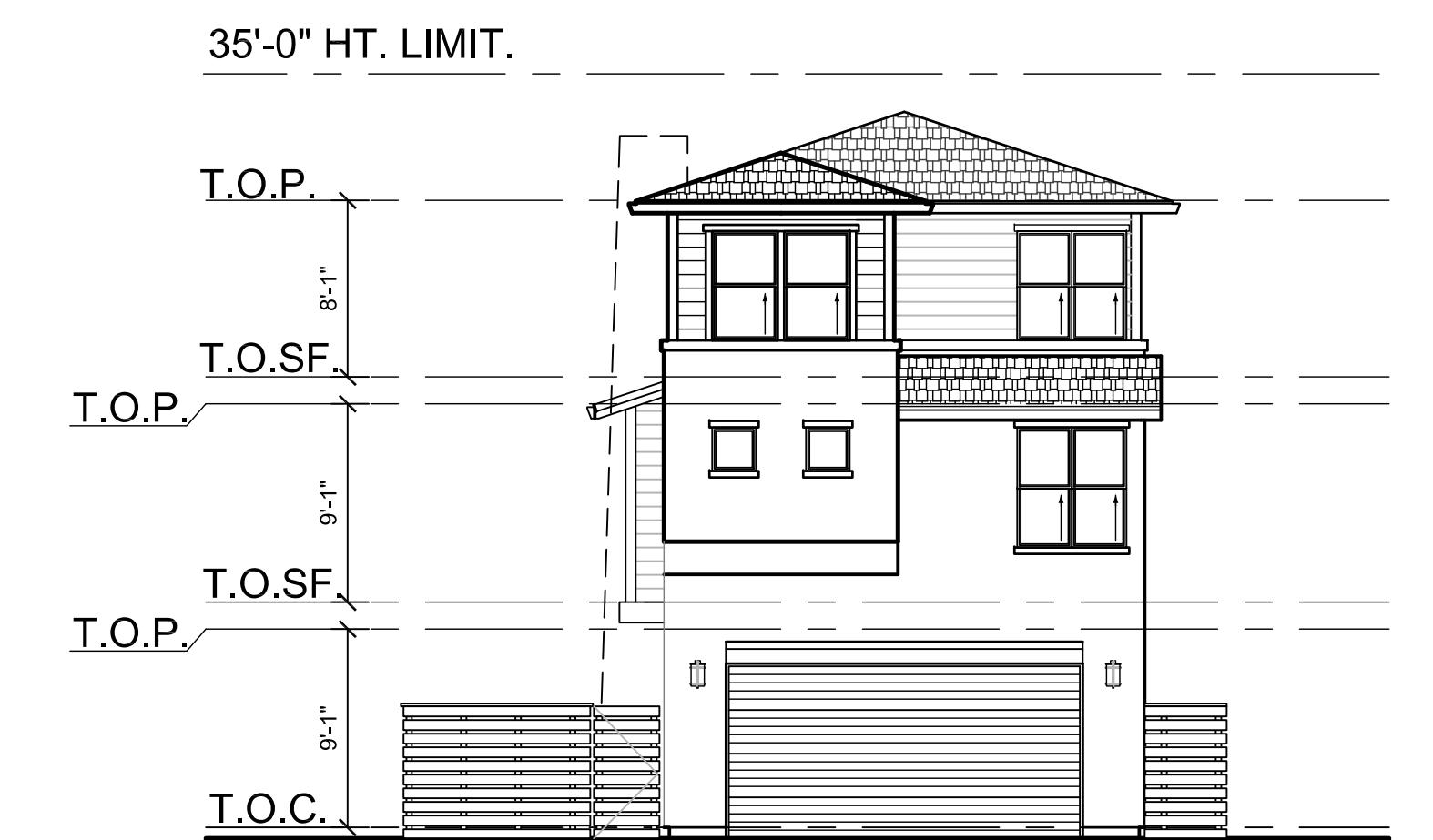
PLAN 3 - EAST ELEVATION B



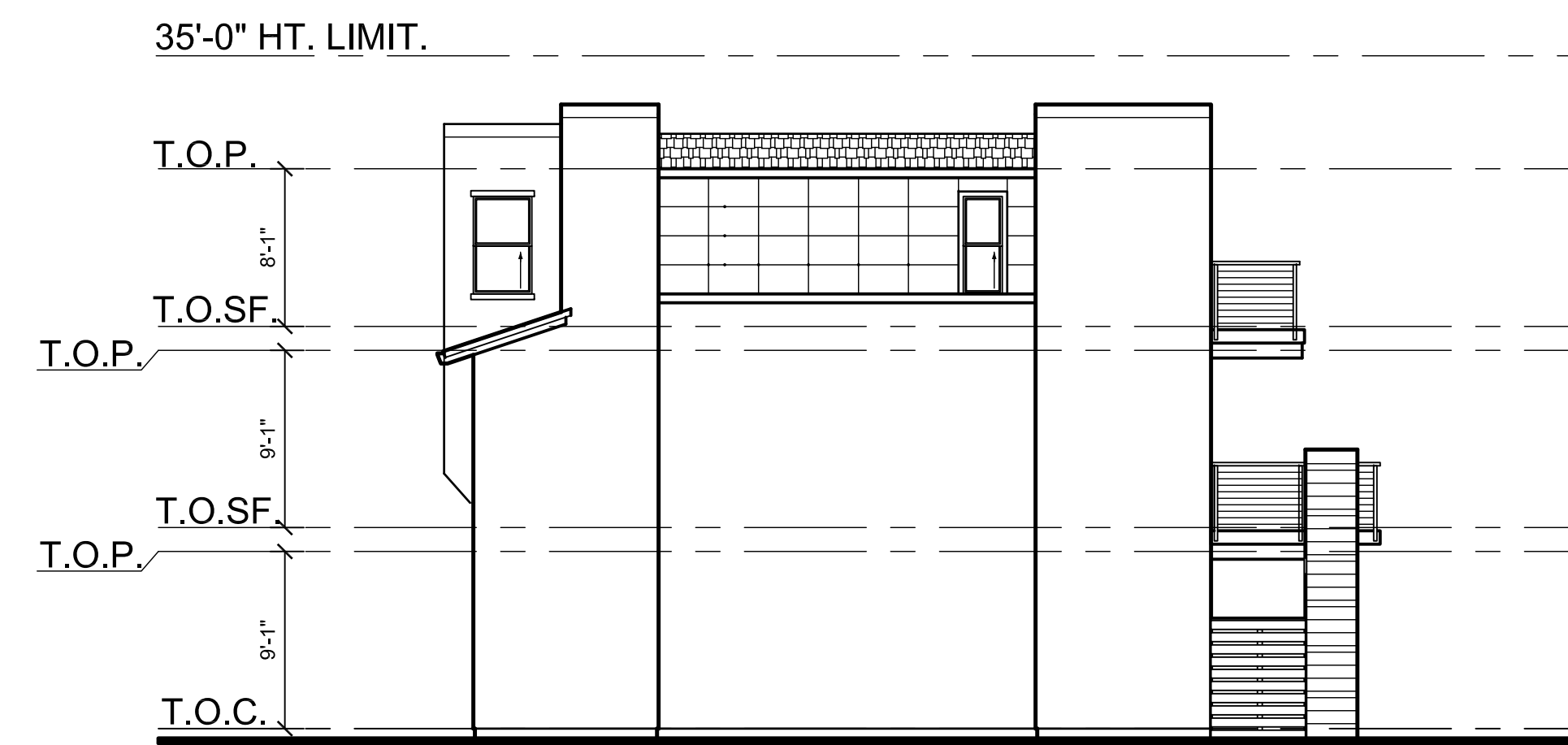
PLAN 3 - NORTH ELEVATION B



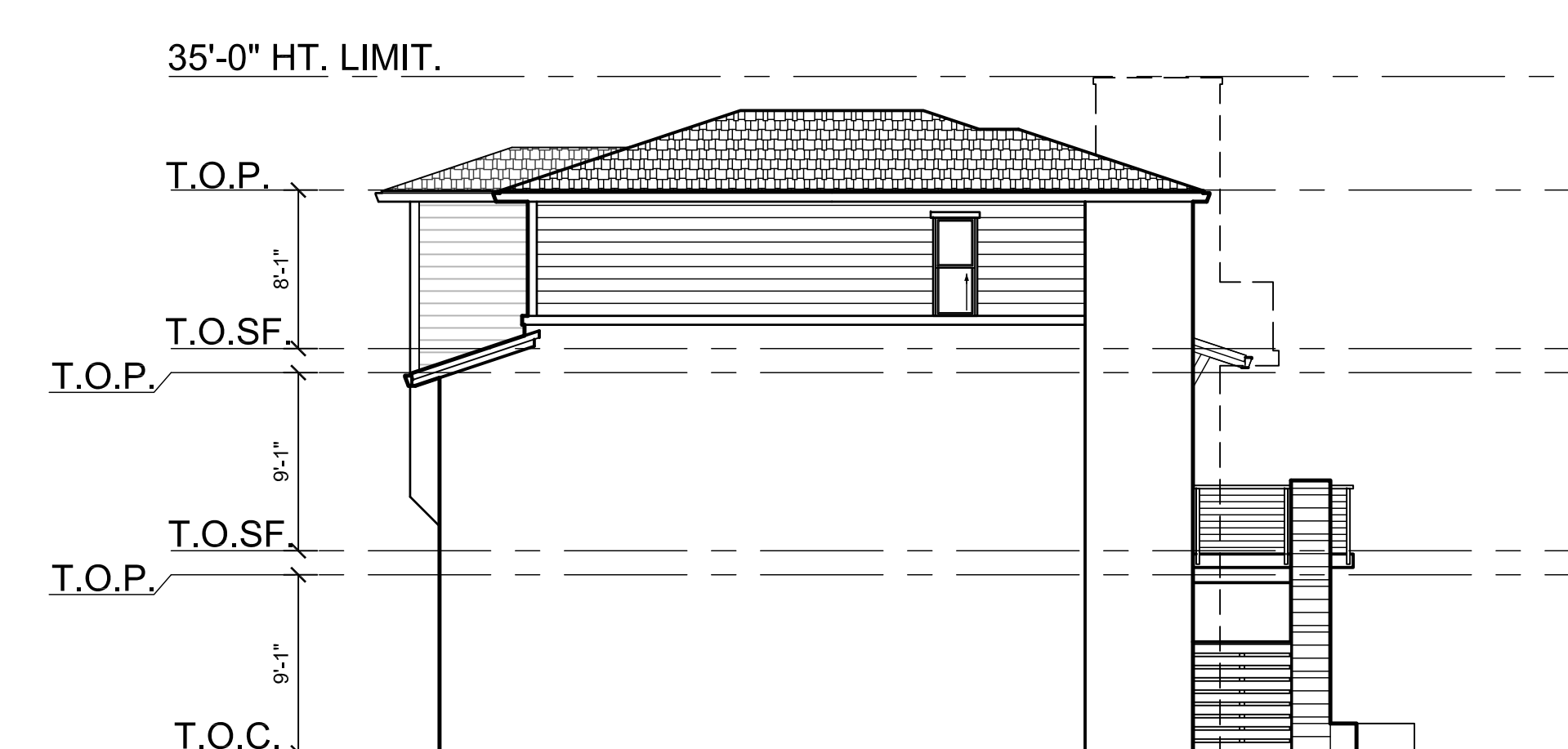
PLAN 3 - EAST ELEVATION A



PLAN 3 - NORTH ELEVATION A



PLAN 3 - WEST ELEVATION B

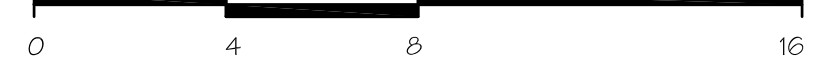
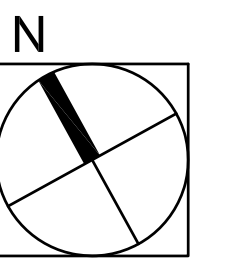


PLAN 3 - WEST ELEVATION A

- LEGEND**
 T.O.R. - TOP OF ROOF
 T.O.P. - TOP OF PLATE
 T.O.SF. - TOP OF SUB FLOOR
 T.O.C. - TOP OF CONCRETE

- MATERIAL**
 1. PAINTED STUCCO
 2. FAUX STONE VENEER
 3. ASPHALT SHINGLE ROOF
 4. METAL ROOF
 5. LAP CEMENT SIDING
 6. WOOD FENCE
 7. CABLE RAILING
 8. WOOD RAILING
 9. SMOOTH PANEL SIDING W/
 1/2" ALUMINUM REVEAL
 10. ILLUMINATED ADDRESS
 11. SHADE ELEMENT
 12. LOW WALL

SINGLE FAMILY
 PLAN 3A & 3B
 ELEVATIONS
 SCALE: 1/4" & 1/8"=1'-0"



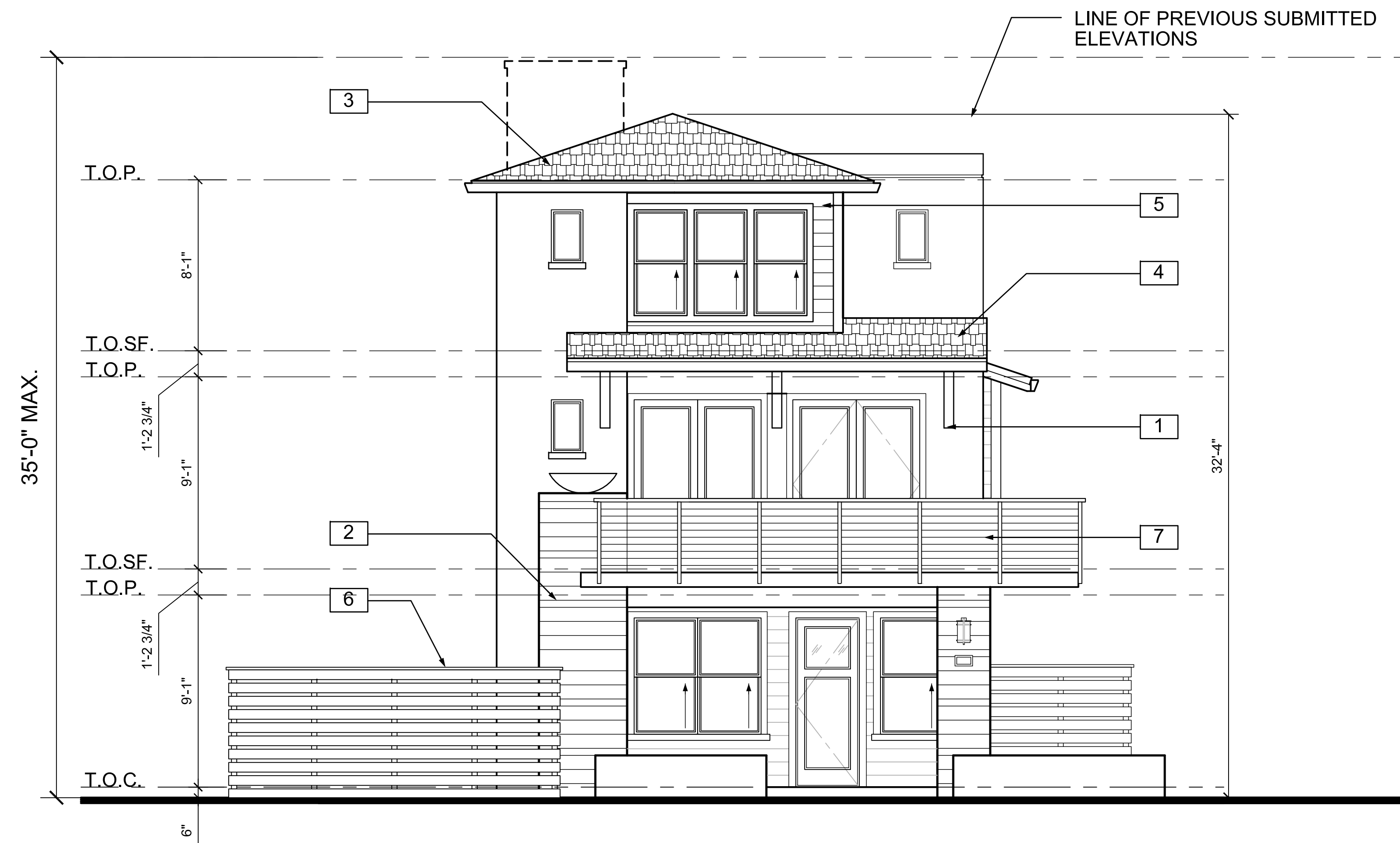
JOB NO. 1124-001
DATE 04-15-13



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A5.3

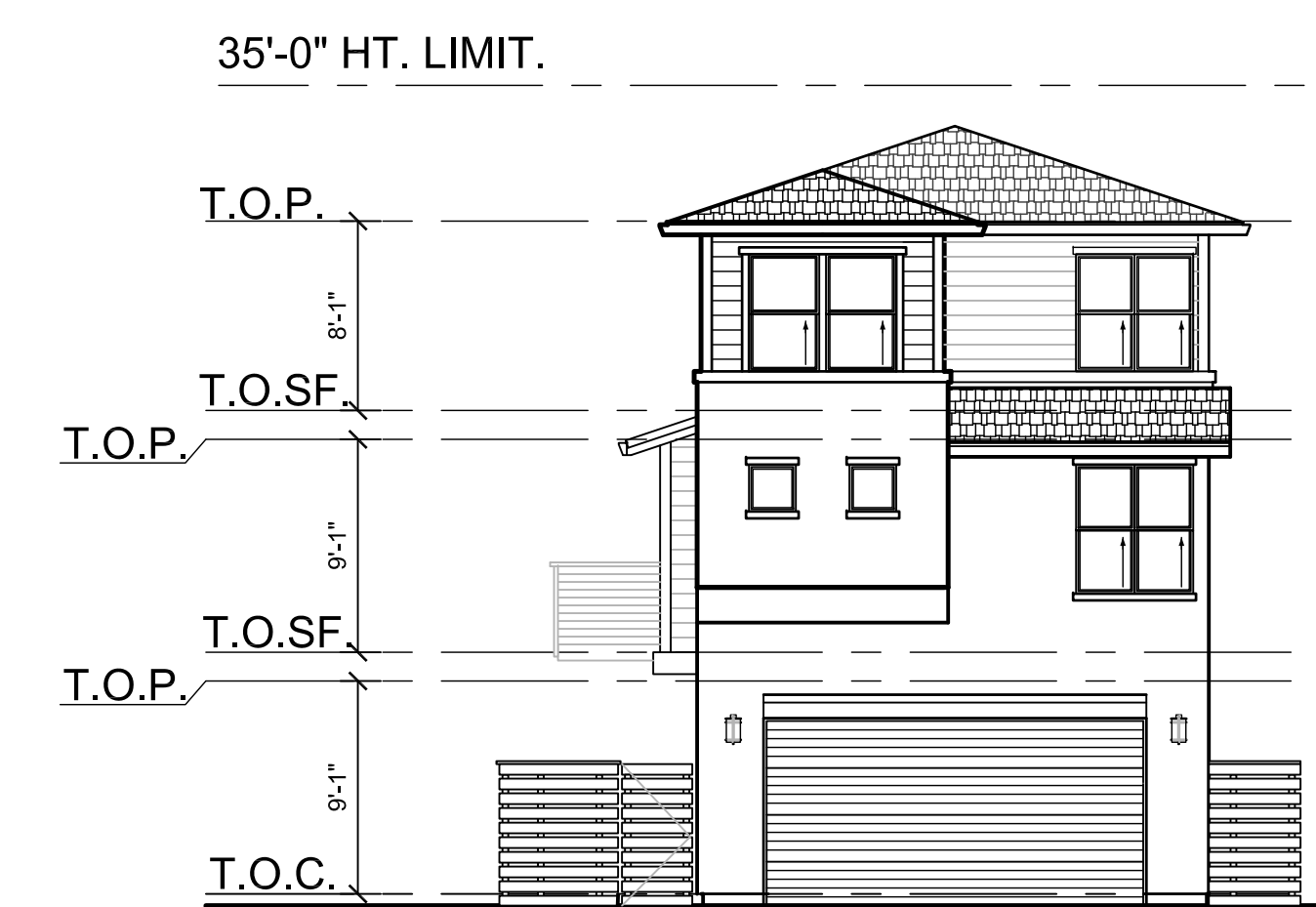
567 - 595 MAYBELL AVENUE
 PALO ALTO, CALIFORNIA



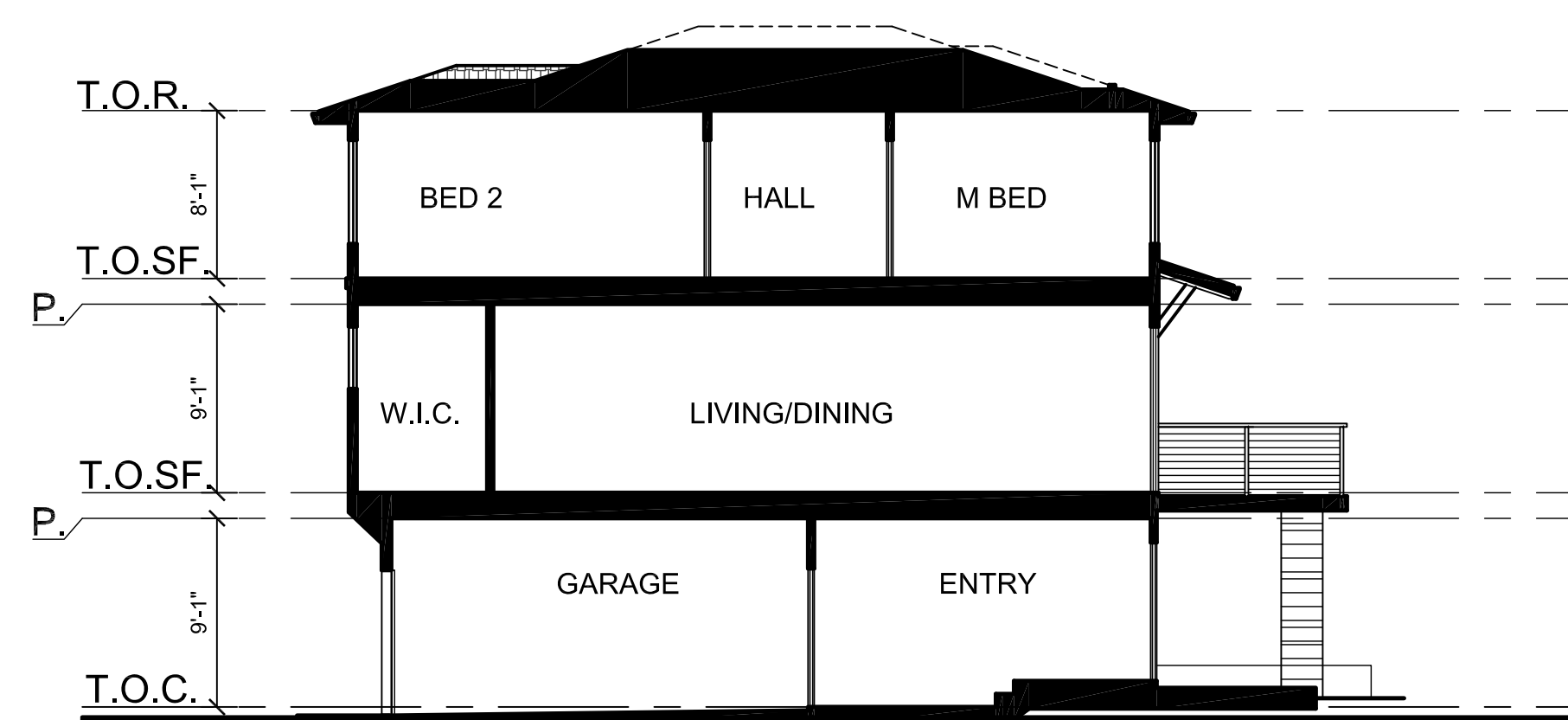
PLAN 3-ELEVATION C



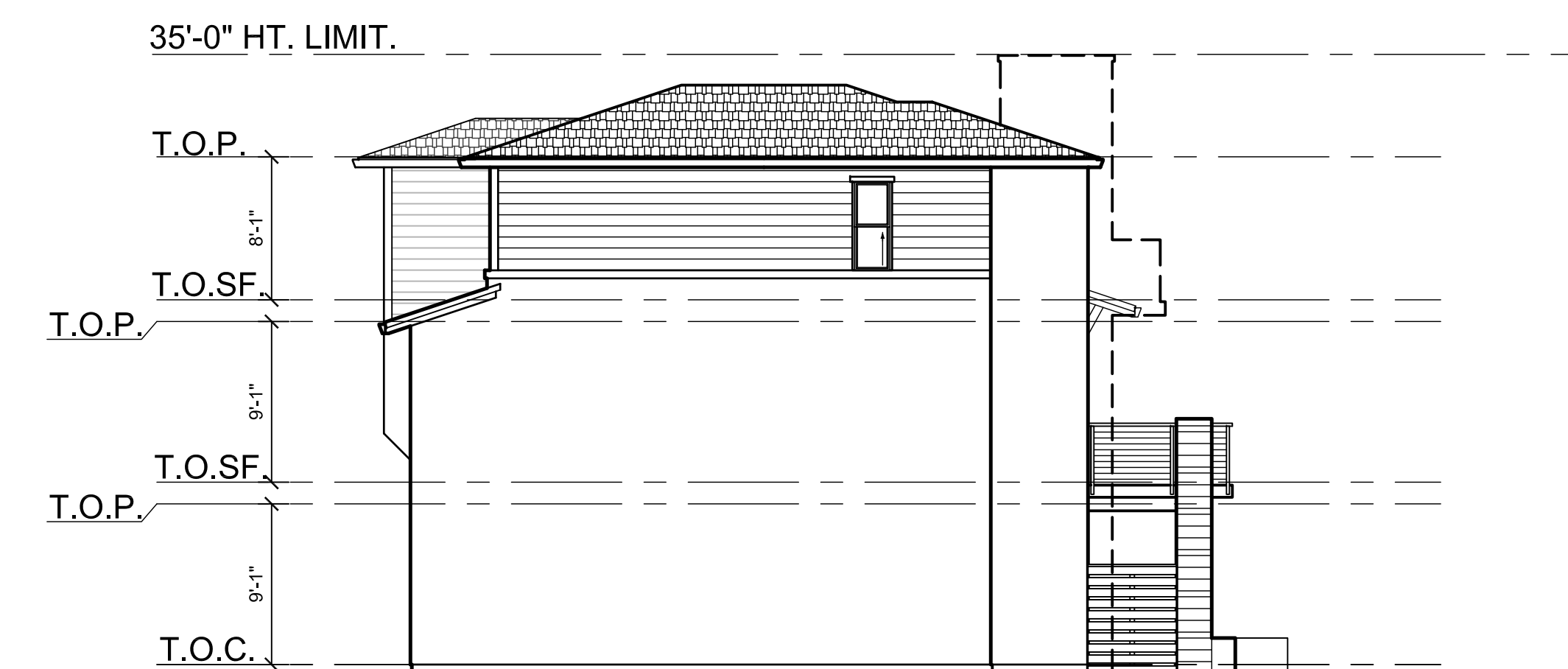
PLAN 3 - EAST ELEVATION C



PLAN 3 - NORTH ELEVATION C



PLAN 3 - SECTION C



PLAN 1 - WEST ELEVATION C

LEGEND

- T.O.R. - TOP OF ROOF
- T.O.P. - TOP OF PLATE
- T.O.SF. - TOP OF SUB FLOOR
- T.O.C. - TOP OF CONCRETE

MATERIAL

- 1. PAINTED STUCCO
- 2. FAUX STONE VENEER
- 3. ASPHALT SHINGLE ROOF
- 4. METAL ROOF
- 5. LAP CEMENT SIDING
- 6. WOOD FENCE
- 7. CABLE RAILING
- 8. WOOD RAILING
- 9. SMOOTH PANEL SIDING W/ 1/2" ALUMINUM REVEAL
- 10. ILLUMINATED ADDRESS
- 11. SHADE ELEMENT
- 12. LOW WALL

567 - 595 MAYBELL AVENUE
PALO ALTO, CALIFORNIA

SINGLE FAMILY
PLAN 3C-ELEVATIONS
& SECTION

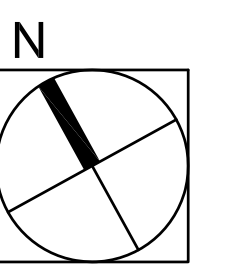
SCALE: 1/4" & 1/8"=1'-0"



JOB NO. 1124-001
DATE 04-15-13

DAHLIN
group

5865 Owens Drive
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A5.4